
CITY OF MERCER ISLAND

COMMUNITY PLANNING & DEVELOPMENT

9611 SE 36TH STREET | MERCER ISLAND, WA 98040

PHONE: 206.275.7605 | www.mercergov.org



STAFF REPORT & DECISION

SHORELINE SUBSTANTIAL DEVELOPMENT PERMIT (Exhibit 1)

Project No.:	SHL23-054
Description:	A request for a Shoreline Substantial Development Permit with SEPA Review to repair (11) existing piles, repair (1) existing brace pile, repair existing dock and install (1) new platform lift.
Applicant / Owner:	Zion Napier (Seaborn Pile Driving) / Lindsey Wellmon
Site Address:	6333 77 th Ave SE, Mercer Island, WA 98040; Identified by King County Assessor tax parcel numbers 409710-0010.
Zoning District:	Single Family Residential (R-15)
Staff Contact:	Grace Manahan, Assistant Planner
Exhibits:	<ol style="list-style-type: none">1. Staff Report and Decision, dated July 15, 20242. Development Application, received by the City of Mercer Island on November 6, 20233. Development Plan Set, dated October 10, 20234. Project Narrative, received November 6, 20235. SEPA Checklist, received November 6, 20236. Ecological No Net Loss Assessment Report prepared by Northwest Environmental Consulting, LLC, dated November 2023 and received November 6, 20237. Determination of Complete Application, dated January 18, 20248. Notice of Application, dated January 29, 2024.9. Comment provided by the State of Washington Department of Ecology, dated February 28, 202410. Response to Comment (Exhibit 9), dated May 8, 202411. SEPA Determination of Nonsignificance Issued by the City of Mercer Island on July 15, 2024

INTRODUCTION

I. Project Description

The applicant has requested approval of a Shoreline Substantial Development Permit for to repair (11) existing piles, repair (1) existing brace pile, repair existing dock and install (1) new platform lift (“proposed development”).

The proposed development consists of the following components:

1. A request to repair (11) existing piles, repair (1) existing brace pile, and repair existing dock subject to the standards of MICC 19.13.050(F)(1) Development standards for new and expanded moorage facilities.
2. A request to install (1) new platform lift subject to the standards of MICC 19.13.050(F)(1) Development standards for new and expanded moorage facilities.

II. Site Description and Context

1. The proposed development is to occur at 6333 77th Ave SE, Mercer Island, WA 98040 (“subject property”). The subject property is designated Single Family Residential (zoned R-15) in the Urban Residential Environment on Mercer Island in Lake Washington pursuant to Appendix F of Title 19 of the Mercer Island City Code and described in MICC 19.13.030(B). Adjacent properties are within the R-15 zone and contain residential uses.

Terms used in this staff report:

Term	Refers to, unless otherwise specified:
Applicant	Zion Napier / Seaborn Pile Driving
Proposed development	To repair (11) existing piles, repair (1) existing brace pile, repair existing dock and install (1) new platform lift.
Subject property, site	The subject property or site where the proposed development is located as defined in this staff report
City	City of Mercer Island
MICC	Mercer Island City Code
Code Official	City of Mercer Island Community and Planning Development Director or a duly authorized designee
OHWM	Ordinary high water mark.

Findings of Fact & Conclusions of Law

III. Application Procedure

1. The application for a Shoreline Substantial Development Permit was received by the City of Mercer Island on November 6, 2023. The application was determined to be complete on January 18, 2024 (**Exhibit 7**).
2. Under MICC 19.15.030, Table A, applications for Shoreline Substantial Development Permits must undergo Type III review. Type III reviews require notice of application (discussed below). A notice of decision is issued once the project review is complete.
3. The City of Mercer Island provided public notice of application for this Shoreline Substantial Development Permit, as set forth in MICC 19.15.090. The comment period for the public notice

period lasted for 30 days, from January 29, 2024 to February 28, 2024. The following methods were used for the public notice of application (**Exhibit 8**):

- 1) A mailing sent to neighboring property owners within 300 feet of the subject parcel.
- 2) A sign posted on the subject parcel.
- 3) A posting in the City of Mercer Island's weekly permit bulletin.

No public comments were received during the public comment period.

One comment was received by the State of Washington Department of Ecology (**Exhibit 9**). The applicant responded to this comment (**Exhibit 10**).

IV. State Environmental Policy Act (SEPA)

A Determination of Nonsignificance (DNS) is being issued concurrently with the approval of this shoreline substantial development permit following the optional DNS process per Washington Administrative Code (WAC) 197-11-355 (**Exhibit 11**). The SEPA application is identified by City of Mercer Island project number SEP23-004.

V. Consistency with the Shoreline Master Program and Land Development Code

1. MICC 19.13.050(D), Table D lists requirements for moorage facilities and development located waterward from the OHWM:

- a. Moorage facilities may be developed and used as an accessory to dwellings on shoreline lots. Only one noncommercial, residential moorage facility per upland residential waterfront lot authorized.

Staff Analysis: The existing moorage facility is the only moorage facility developed on the upland residential waterfront lots; therefore, this standard is met.

- b. Setbacks for all moorage facilities, covered moorage, and floating platforms shall be 10 feet from the lateral line, except where the moorage facility is built pursuant to the agreement between adjoining property owners.

Staff Analysis: The proposed platform lift would be located greater than 10 feet from the lateral line (**Exhibit 3**); therefore, this requirement is met.

- c. Setbacks for boat ramps and other facilities for launching boats by auto or hand, including parking and maneuvering space, shall be 25 feet from any adjacent private property line.

Staff Analysis: The proposed development does not include boat ramps or other facilities for launching boats; therefore, this requirement does not apply.

- d. The length or maximum distance from the OHWM for moorage facilities, covered moorage, boatlifts and floating platforms shall be a maximum of 100 feet. In cases where water depth is less than 11.85 feet below the OHWM, length may extend up to 150 feet or to the point where water depth is 11.85 feet at OHWM, whichever is less.

Staff Analysis: The proposed moorage facility extends approximately 42 feet waterward from the OHWM (**Exhibit 3, Sheet 4**); therefore, this requirement is met.

- e. The width of moorage facilities within 30 feet waterward from the OHWM shall be a maximum of 4 feet. This maximum width may increase to 5 feet if one of the following is met:

- Water depth is 4.85 feet or more, as measured from the OHWM.
- A moorage facility is required to comply with Americans with Disabilities Act (ADA) requirements.
- A resident of the property has a documented permanent state disability as defined in WAC 308-96B-010(5).
- The proposed project includes mitigation option A, B or C listed in Table E; and for replacement actions, there is either a net reduction in overwater coverage within 30 feet waterward from the OHWM, or a site-specific report is prepared by a qualified professional demonstrating no net loss of ecological function of the shorelands. Moorage facility width shall not include pilings, boat ramps and lift stations.

Staff Analysis: The proposed development does not alter the width of the existing moorage facility (**Exhibit 3, Sheet 4**); therefore, this requirement is met.

- f. The width of moorage facilities more than 30 feet waterward from the OHWM shall be a maximum of 6 feet. Moorage facility width shall not include pilings, boat ramps and boatlifts.

Staff Analysis: The width of the proposed moorage facility more than 30 feet waterward from the OHWM is 5 feet 9 inches (**Exhibit 3, Sheet 4**); therefore, this requirement is met.

- g. The maximum height limits for walls, handrails and storage containers located on piers shall be 3.5 feet above the surface of a dock or pier. Ramps and gangways designed to span the area between 0 and 30 feet from the OHWM may be 4 feet above the surface of the dock or pier.

Staff Analysis: The proposed development does not contain walls, handrails, storage containers, ramps, or gangways; therefore, this requirement does not apply.

- h. The height limit for mooring piles, diving boards and diving platforms shall be 10 feet above the elevation of the OHWM.

Staff Analysis: The proposed development does not include mooring piles, diving boards or diving platforms; therefore, this requirement does not apply.

- i. The minimum water frontage for a dock shared by two adjoining lots on the shoreline is 40 feet combined.

Staff Analysis: The proposed development does not include a shared dock; therefore, this requirement does not apply.

- j. Covered moorage is permitted on single-family residential lots subject to the following:

- i. Maximum height above the OHWM: 16 feet; 16 to 21 feet subject to criteria of MICC 19.13.050(E)(1).

Staff Analysis: The proposed development does not include covered moorage; therefore, these standards do not apply.

- ii. Location/area requirements: The covered portion of a moorage shall be restricted to the area lying within a triangle as illustrated in Figure A (MICC 19.13.050(E)), except as otherwise provided in subsection (E)(1) of this section.

Staff Analysis: The proposed development does not include covered moorage; therefore, these standards do not apply.

- iii. A covered moorage is allowed outside the triangle, or a canopy up to 21 feet in height, if the covered moorage meets all other regulations and:
 - Will not constitute a hazard to the public health, welfare, and safety, or be injurious to affected shoreline properties within the vicinity;
 - Will constitute a lower impact for abutting property owners; and
 - Is not in conflict with the general intent and purpose of the SMA, the shoreline master program and the development code.
- iv. Building area: 600 square feet; however, a covered moorage may be built larger than 600 square feet within the triangle subject to a shoreline conditional use permit.
- v. Covered moorage shall have open sides.
- vi. Prohibited in semi-private recreational tracts and noncommercial recreational areas.
- vii. Translucent coverings are required.

Staff Analysis: The proposed development does not include covered moorage; therefore, these standards do not apply.

- 2. MICC 19.13.050(F) states that all permits for new and expanded moorage facility, other than public access piers or boardwalks, shall meet the following standards unless otherwise exempted. Moorage facilities have the option of meeting either the development standards prescribed in subsection (F)(1) or (F)(2) of this section, or the “alternative development standards” in subsection (F)(3) of this section.

Staff Analysis: The applicant has requested that the proposed development be reviewed under MICC 19.13.050(F)(3), alternative development standards.

- 3. MICC 19.13.050(F)(3) lists alternative development standards. The code official shall approve moorage facilities not in compliance with the development standards in MICC 19.13.050(F)(1) or (F)(2) of this section subject to both U.S. Army Corps of Engineers and Washington Department of Fish and Wildlife approval to an alternate project design. The following requirements and all other applicable provisions in this chapter shall be met:

- a. The dock must be no larger than authorized through state and federal approval.

Staff Analysis: As conditioned, the applicant must obtain any applicable permits for this project from federal and state agencies prior to building permit issuance; therefore, this requirement will be met.

- b. The maximum width must comply with the width of moorage facilities standards specified in subsection D of this section (Table D).

Staff Analysis: The proposed development does not alter the width of the existing moorage facility (**Exhibit 3, Sheet 4**); therefore, this requirement is met.

- c. The minimum water depth must be no shallower than authorized through state and federal approval.

Staff Analysis: As conditioned, the applicant must obtain any applicable permits for this project from federal and state agencies prior to building permit issuance; therefore, this requirement will be met.

- d. The applicant must demonstrate to the code official's satisfaction that the proposed project will not create a net loss in ecological function of the shorelands.

Staff Analysis: The applicant submitted an Ecological No Net Loss Assessment Report prepared by Northwest Environmental Consulting, LLC (**Exhibit 6**) that demonstrates the proposed development will not create a net loss in ecological function. The applicant has submitted a shoreline planting plan that will be required to be completed prior to final inspection of the building permit; therefore, this requirement is met.

- e. The applicant must provide the city with documentation of approval of the moorage facilities by both the U.S. Army Corps of Engineers and the Washington Department of Fish and Wildlife.

Staff Analysis: As conditioned, the applicant must obtain any applicable permits for this project from federal and state agencies prior to building permit issuance; therefore, this requirement will be met.

CONDITIONS OF APPROVAL

1. The proposed development shall be in substantial conformance with **Exhibit 3** and all applicable development standards contained within Chapter 19.13 Mercer Island City Code ("MICC").
2. The applicant shall obtain any permits from state and federal agencies that are applicable to this project. The applicant is also responsible for documenting any required changes in the project proposal due to conditions imposed by any applicable local, state and federal government agencies.
3. Construction shall not be authorized, nor may begin within twenty-one days of the date of filing of the decision as defined in RCW 90.58.140(6).
4. A City of Mercer Island Building Permit may be required for construction of this project proposal. The Building Official may require an appropriate performance bond in an amount to be determined prior to Building Permit issuance to ensure all required vegetation installation is completed in compliance with applicable code requirements.
5. Construction of this project proposal shall only occur during approved fish windows by local, state, and/or federal government agencies. The applicant is responsible for obtaining permit approvals from all state and federal agencies.
6. Construction of this project proposal shall only occur during approved construction hours by the City of Mercer Island and/or as otherwise restricted by the Building Official.
7. The applicant shall provide the City with documentation of approval of the project from the U.S. Army Corps of Engineers and the Washington Department of Fish and Wildlife. This documentation shall be received by the City prior to issuance of building permits for this project.
8. The applicant shall provide the City with an affidavit prior to **permit issuance**. The affidavit shall state that the applicant has field located the sewer lake line and the location on the site plan (as revised) is the actual location within Lake Washington. The affidavit shall acknowledge that the applicant is responsible for any damages to the sewer lake line caused by the construction. **Please note:** Damage

can occur from pile driving, grounding the barge or securing it with vertical steel shafts (spuds), and other possible impacts from the project.

9. The applicant shall provide the City with development plans that reflect the field verified location of the sewer lake line pre-construction prior to **permit issuance**. If the lakebed is being disturbed, please contact Fish and Wildlife and the U.S. Army Corps of Engineers, as a permit may be required. **Please note:** Field verification should be performed with due care as the sewer lake line is pressurized in some locations and the pipe material could be prone to damage.

The applicant shall provide development plans based upon a pre-construction field survey locating the sewer lake line, and shall deliver the results to the City in one of the formats listed below, ranked from top to bottom, (a) being the top preferred method:

- a. A hand-drawn or plotted as-built of the lake line location with accurate distance measurements to multiple visible and permanent reference points. Reference points can include dock corners, utilities, structures, stairs, etc.
- b. A CAD file including the lake line and surveyed area in WGS-1984 or Washington State Plane North coordinate systems.
- c. A CAD file including the lake line and surveyed area in an assumed coordinate system, including multiple visible and permanent reference points.
- d. A list of coordinates denoting the lake line location, in WGS-1984 or Washington State Plane North coordinate systems.
- e. If none of the above options are viable, the City will consider reasonable efforts to provide field verification of the sewer lake line. Possible constraints that may make field verification nonviable includes, but is not limited to, the following: if the sewer pipe is too deep to locate or if there are fish window constraints.

If a coordinate system is used, the survey must be performed using high accuracy GPS or total station (half-foot accuracy). This **excludes** cellphone or handheld GPS surveys.

10. The applicant shall inform the Mercer Island Maintenance Department at (206) 275-7608 of the anticipated start date of in-water work prior to commencement of construction.
11. Piles, floats or other structures in direct contact with water shall not be treated or coated with toxic substances harmful to the aquatic environment. Chemical treatment of structures shall comply with all applicable state and federal regulations. Any pollutants entering Lake Washington shall be reported immediately to the Department of Ecology. N.W. Regional Office: (425) 649-7000 and the City of Mercer Island (206) 275-7605.
12. Construction or substantial progress toward construction of a development for which a permit has been granted must be undertaken within two years after the approval of the permit or the permit shall terminate. The code official shall determine if substantial progress has been made. A single extension before the end of the time limit, with prior notice to parties of record, for up to one year, based on reasonable factors may be granted.

DEVELOPMENT REGULATION COMPLIANCE – DISCLOSURE

1. The applicant is responsible for obtaining any required permits or approvals from the appropriate Local, State, and Federal Agencies. The applicant is responsible for meeting the conditions are required by the agencies pursuant to MICC 19.13.010(E) and 19.13.040.

2. All required permits must be obtained prior to the commencement of construction.

DECISION

Based upon the above noted Findings of Fact and Conclusions of Law, Shoreline Substantial Development Permit application **SHL23-054**, as depicted in **Exhibit 3**, is hereby **APPROVED**. This decision is final, unless appealed in writing consistent with adopted appeal procedures, MICC 19.15.130(A), and all other applicable appeal regulations.

Approved this 15th day of July 2024.



Grace Manahan
Code Compliance Planner
Community Planning & Development
City of Mercer Island

CITY OF MERCER ISLAND

COMMUNITY PLANNING & DEVELOPMENT

9611 SE 36TH STREET | MERCER ISLAND, WA 98040

PHONE: 206.275.7605 | www.mercerisland.gov



CITY USE ONLY

PROJECT#

RECEIPT #

FEE

Date Received:

Received By:

DEVELOPMENT APPLICATION

STREET ADDRESS/LOCATION		ZONE
COUNTY ASSESSOR PARCEL #'S		PARCEL SIZE (SQ. FT.)
PROPERTY OWNER <i>(required)</i>	ADDRESS <i>(required)</i>	CELL/OFFICE <i>(required)</i> E-MAIL <i>(required)</i>
PROJECT CONTACT NAME	ADDRESS	CELL/OFFICE E-MAIL
TENANT NAME	ADDRESS	CELL PHONE E-MAIL

DECLARATION: I HEREBY STATE THAT I AM THE OWNER OF THE SUBJECT PROPERTY OR I HAVE BEEN AUTHORIZED BY THE OWNER(S) OF THE SUBJECT PROPERTY TO REPRESENT THIS APPLICATION, AND THAT THE INFORMATION FURNISHED BY ME IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

Zion Napier
SIGNATURE

DATE

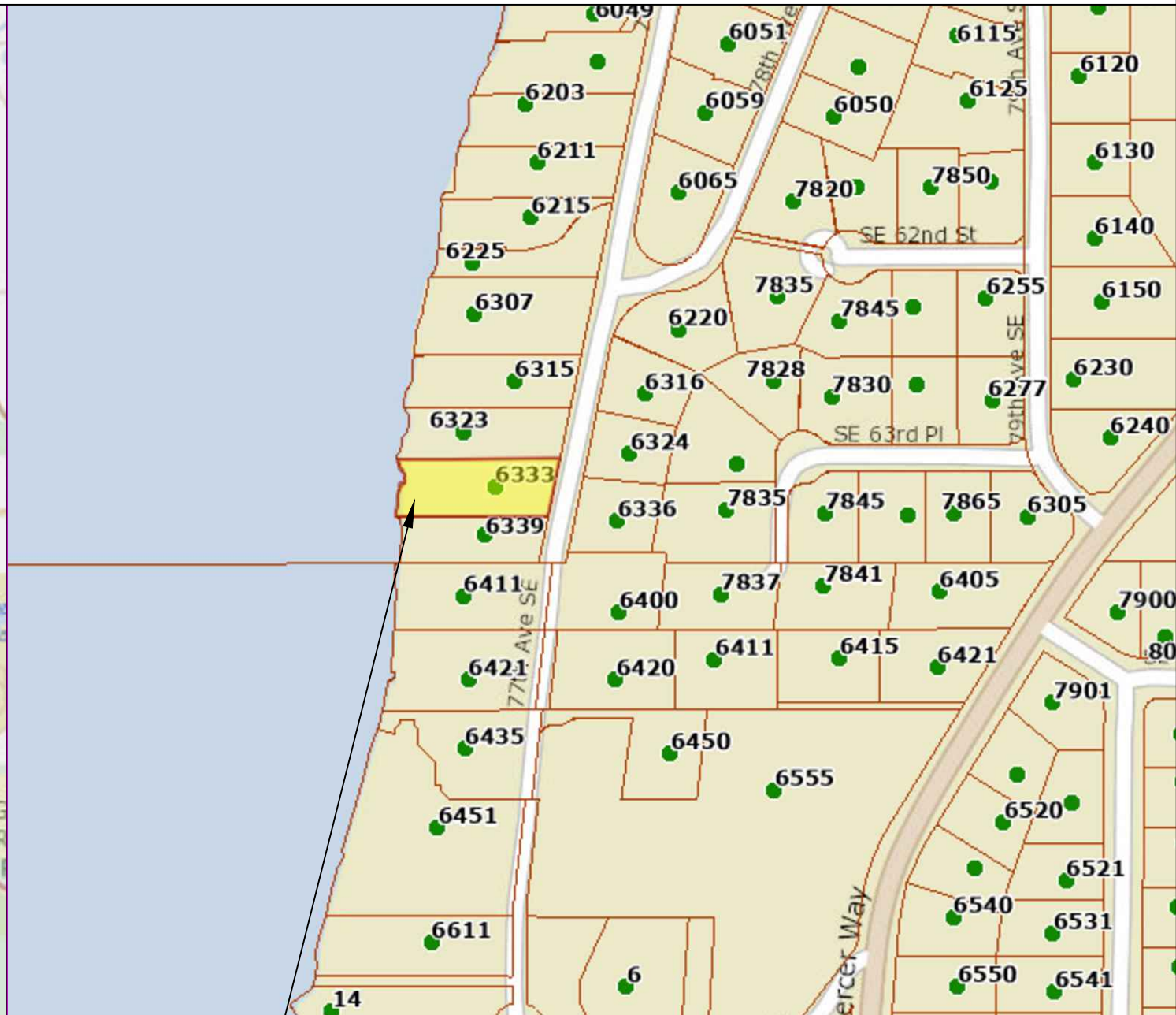
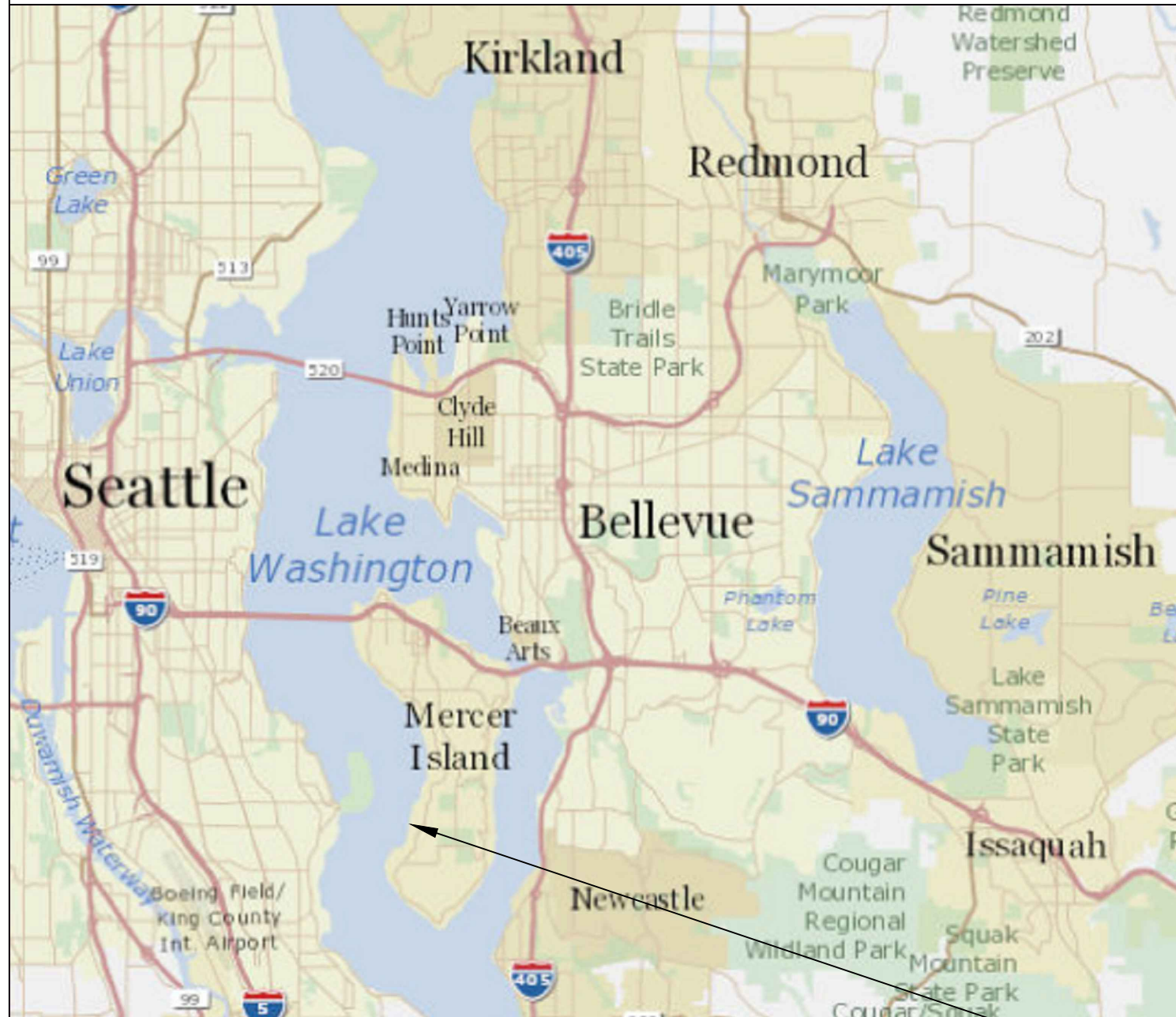
PROPOSED APPLICATION(S) AND CLEAR DESCRIPTION OF PROPOSAL (PLEASE USE ADDITIONAL PAPER IF NEEDED):

ATTACH RESPONSE TO DECISION CRITERIA IF APPLICABLE

CHECK TYPE OF LAND USE APPROVAL REQUESTED:

CRITICAL AREAS	ENVIRONMENTAL REVIEW (SEPA)	SUBDIVISION
<input type="checkbox"/> Critical Area Review 1	<input type="checkbox"/> SEPA Review	<input type="checkbox"/> Short Plat- Preliminary
<input type="checkbox"/> Critical Area Review 2	<input type="checkbox"/> Environmental Impact Statement	<input type="checkbox"/> Short Plat- Alteration
		<input type="checkbox"/> Short Plat- Final Plat
DESIGN REVIEW		<input type="checkbox"/> Long Plat- Preliminary
<input type="checkbox"/> Design Review – Signs	LEGISLATIVE	<input type="checkbox"/> Long Plat- Alteration
<input type="checkbox"/> Design Review – Code Official	<input type="checkbox"/> Code Amendment	<input type="checkbox"/> Long Plat- Final Plat
<input type="checkbox"/> Design Commission Study Session	<input type="checkbox"/> Comprehensive Plan Docket Application	<input type="checkbox"/> Lot Line Revision
<input type="checkbox"/> Design Commission Review – Exterior Alteration	<input type="checkbox"/> Comprehensive Plan Application (If Docketed)	
<input type="checkbox"/> Design Commission Review – Major New Construction	<input type="checkbox"/> Rezone	
	OTHER LAND USE	
	<input type="checkbox"/> Accessory Dwelling Unit	
	<input type="checkbox"/> Code Interpretation Request	
	<input type="checkbox"/> Conditional Use (CUP)	WIRELESS COMMUNICATION FACILITIES
<input type="checkbox"/> Deviations to Antenna Standards – Code Official	<input type="checkbox"/> Noise Exception Type I - IV	<input type="checkbox"/> New Wireless Communication Facility
<input type="checkbox"/> Deviations to Antenna Standards – Design Commission	<input type="checkbox"/> Other Permit/Services Not Listed	<input type="checkbox"/> Wireless Communications Facilities- 6409 Exemption
<input type="checkbox"/> Public Agency Exception	SHORELINE MANAGEMENT	<input type="checkbox"/> Small Cell Deployment
<input type="checkbox"/> Reasonable Use Exception	<input type="checkbox"/> Shoreline Exemption	<input type="checkbox"/> Height Variance
<input type="checkbox"/> Variance	<input type="checkbox"/> Shoreline Substantial Development Permit	
<input type="checkbox"/> Seasonal Development Limitation Waiver – Wet Season Construction Approval	<input type="checkbox"/> Shoreline Variance	
	<input type="checkbox"/> Shoreline Conditional Use Permit	
	<input type="checkbox"/> Shoreline Permit Revision	

SITE PLAN



**SUBJECT
PROPERTY**

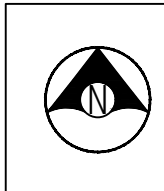
Pin: 409710-0010

Legal Description: LAKE VIEW HIGHLANDS WATERFRONT TR N 8.21 FT OF 1 ALL 2 & SH LDS ADJ

Plat Block:
Plat Lot: 1-2

PARCEL
LAT: 47.54595
LONG: -122.23632

DOCK
LAT: 47.54604444
LONG: -122.23680000



Seaborn Pile Driving
1080 W Ewing St
Seattle, WA 98119

Office: 206-236-1700 ext. 3
www.seabornpiledriving.com

Scope of Work: We propose to repair (11) existing piles, repair (1) existing brace pile, repair the existing dock, and install a platform lift.

County: King County
Location: Lake Washington

Applicant: Wellmon Residence
6333 77TH AVE SE
MERCER ISLAND, WA 98040

Datum: CORPS OF ENGINEERS 1919
SE Quarter Of Section 24, Township 24, Range 04

Adjacent Owners:
DEMOPULOS PETER A+DIANE K
6333 77TH AVE SE 98040

**SHEET
1.0**

NWS-2022-XXX
PAGE 1 OF 12

Last Updated: 6/5/2024 2:19 PM Shop

Created: 08/24/23

GENERAL NOTES:

CODE REFERENCES: Mercer Island

For our proposed platform lift we are applying for the permit to be reviewed under the:

“Development Standards for New and Expanded Moorage Facilities” per MIMC 19.13050(F)(1).

F. Moorage Facilities. All permits for new and expanded moorage facility, other than public access piers or boardwalks, shall meet the following standards unless otherwise exempted. Moorage facilities have the option of meeting either the development standards prescribed in subsection (F)(1) or (F)(2) of this section, or the “alternative development standards” in subsection (F)(3) of this section.

1. Development Standards for New and Expanded Moorage Facilities. A proposed moorage facility shall be presumed to not create a net loss of ecological functions pursuant to subsection (B)(2) of this section if:

- i. The surface coverage area of the moorage facility is:
 - a. Four hundred eighty square feet or less for a single property owner;
 - b. Seven hundred square feet or less for two residential property owners (residential); or
 - c. One thousand square feet or less for three or more residential property owners;
- ii. Piers, docks, and platform lifts must be fully grated with materials that allow a minimum of 40 percent light transmittance;
- iii. Vegetation. The code official approves a vegetation plan that conforms to the following:

Ch. 19.13 Shoreline Master Program | Mercer Island City Code Page 27 of 34

The Mercer Island City Code is current through Ordinance 20C-13, passed June 16, 2020.

Vegetation must be planted as provided in Figure C and as follows: Within the 25-foot shoreline setback, a 20-foot vegetation area shall be established, measured landward from the OHWM. Twenty-five percent of the area shall contain vegetation coverage. The five feet nearest the OHWM shall contain at least 25 percent native vegetation coverage. A shoreline vegetation plan shall be submitted to the city for approval. The vegetation coverage shall consist of a variety of ground cover shrubs and trees, excluding nonnative grasses. No plants on the current King County noxious weed lists shall be planted within the shorelands. Figure C: Vegetation Plan

iv. Only docks, ramps, and boatlifts may be within the first 30 feet from the OHWM. No skirting is allowed on any structure;

v. The height above the OHWM for docks shall be a minimum of one and one-half feet and a maximum of five feet;

vi. The first in-water (nearest the OHWM) set of pilings shall be steel, 10 inches in diameter or less, and at least 18 feet from the OHWM. Piling sets beyond the first shall also be spaced at least 18 feet apart and shall not be greater than 12 inches in diameter. Piles shall not be treated with pentachlorophenol, creosote, CCA or comparably toxic compounds. If ammoniacal copper zinc arsenate (ACZA) pilings are proposed, the applicant shall meet all of the best management practices, including a post-treatment procedure, as outlined in the amended Best Management Practices of the Western Wood Preservers. All piling sizes are in nominal diameter;

vii. Any paint, stain or preservative applied to components of the dock must be leach resistant, completely dried or cured prior to installation. Materials shall not be treated with pentochlorophenol, creosote, CCA or comparably toxic compounds; Ch. 19.13 Shoreline Master Program | Mercer Island City Code Page 28 of 34 The Mercer Island City Code is current through Ordinance 20C-13, passed June 16, 2020.

viii. No more than two mooring piles shall be installed per structure. Joint-use structures may have up to four mooring piles. The limits include existing mooring piles. Moorage piling shall not be installed within 30 feet of the OHWM. These piles shall be as far offshore as possible;

ix. The applicant shall abide by the work windows for listed species established by the U.S. Army Corps of Engineers and Washington Fish and Wildlife; and

x. Disturbance of bank vegetation shall be limited to the minimum amount necessary to accomplish the project. Disturbed bank vegetation shall be replaced with native, locally adapted herbaceous and/or woody vegetation. Herbaceous plantings shall occur within 48 hours of the completion of construction. Woody vegetation components shall be planted in the fall or early winter, whichever occurs first. The applicant shall take appropriate measures to ensure revegetation success.

CODE REFERENCES: Mercer Island

For the repair work we are applying for the permit to be reviewed under the:

“Development Standards for Replacement, Repair and Maintenance of Overwater Structures, Including Moorage Facilities” per MIMC 19.13050(F)(2).

2. Development Standards for Replacement, Repair and Maintenance of Overwater Structures, Including Moorage Facilities. The maintenance, repair and complete replacement of legally existing overwater structures is permitted; provided, that:

- i. All permit requirements of federal and state agencies are met;
- ii. The area, width, or length of the structure is not increased, but may be decreased;
- iii. The height of any structure is not increased, but may be decreased; provided, that the height above the OHWM may be increased as provided in subsection (F)(2)(ix)(b) of this section;

iv. The location of any structure is not changed unless the applicant demonstrates to the director’s satisfaction that the proposed change in location results in: (A) a net gain in ecological function, and (B) a higher degree of conformity with the location standards for a new overwater structure;

v. Piles shall not be treated with pentachlorophenol, creosote, CCA or comparably toxic compounds. If ammoniacal copper zinc arsenate (ACZA) pilings are proposed, the applicant shall meet all of the best management practices, including a post-treatment procedure, as outlined in the amended Best Management Practices of the Western Wood Preservers. All piling sizes are in nominal diameter;

vi. Any paint, stain or preservative applied to components of the overwater structure must be leach resistant, completely dried or cured prior to installation. Materials shall not be treated with pentochlorophenol, creosote, CCA or comparably toxic compounds;

vii. The applicant shall abide by the work windows for listed species established by the U.S. Army Corps of Engineers and Washington Fish and Wildlife;

viii. Disturbance of bank vegetation shall be limited to the minimum amount necessary to accomplish the project. Disturbed bank vegetation shall be replaced with native, locally adapted herbaceous and/or woody vegetation. Herbaceous plantings shall occur within 48 hours of the completion of construction. Woody vegetation components shall be planted in the fall or early winter, whichever occurs first. The applicant shall take appropriate measures to ensure revegetation success; Ch. 19.13 Shoreline Master Program | Mercer Island City Code Page 29 of 34 The Mercer Island City Code is current through Ordinance 20C-13, passed June 16, 2020.

ix. Structural Repair. The structural repair, which may include replacement of framing elements, of moorage facilities that results in the repair of more than 50 percent of the structure’s framing elements within a five-year period shall comply with subsections (F)(2)(ix)(a) through (F)(2)(ix)(c) of this section. For this section, framing elements include, but are not limited to, stringers, piles, pile caps, and attachment brackets, as shown in Figure D:

- a. One hundred percent of the decking area of the pier, dock, and any platform lifts must be fully grated with materials that allow a minimum of 40 percent light transmittance;
- b. The height above the OHWM for moorage facilities, except floats, shall be a minimum of one and one-half feet and a maximum of five feet; and
- c. An existing moorage facility that is five feet wide or more within 30 feet waterward from the OHWM shall be replaced or repaired with a moorage face

Last permit issued for property: E05-06120 Electrical Permit: 12/21/2005

Dock established/constructed: 88-718 11/16/1988

County: King County
Location: Lake Washington

Applicant: Wellmon Residence
6333 77TH AVE SE
MERCER ISLAND, WA 98040

Datum: CORPS OF ENGINEERS 1919
SE Quarter Of Section 24, Township 24, Range 04

Adjacent Owners:
DEMOPULOS PETER A+DIANE K
6339 77TH AVE SE 98040

Last Updated: 6/5/2024 2:19 PM Shop

Created: 08/24/23



Seaborn Pile Driving
1080 W Ewing St
Seattle, WA 98119

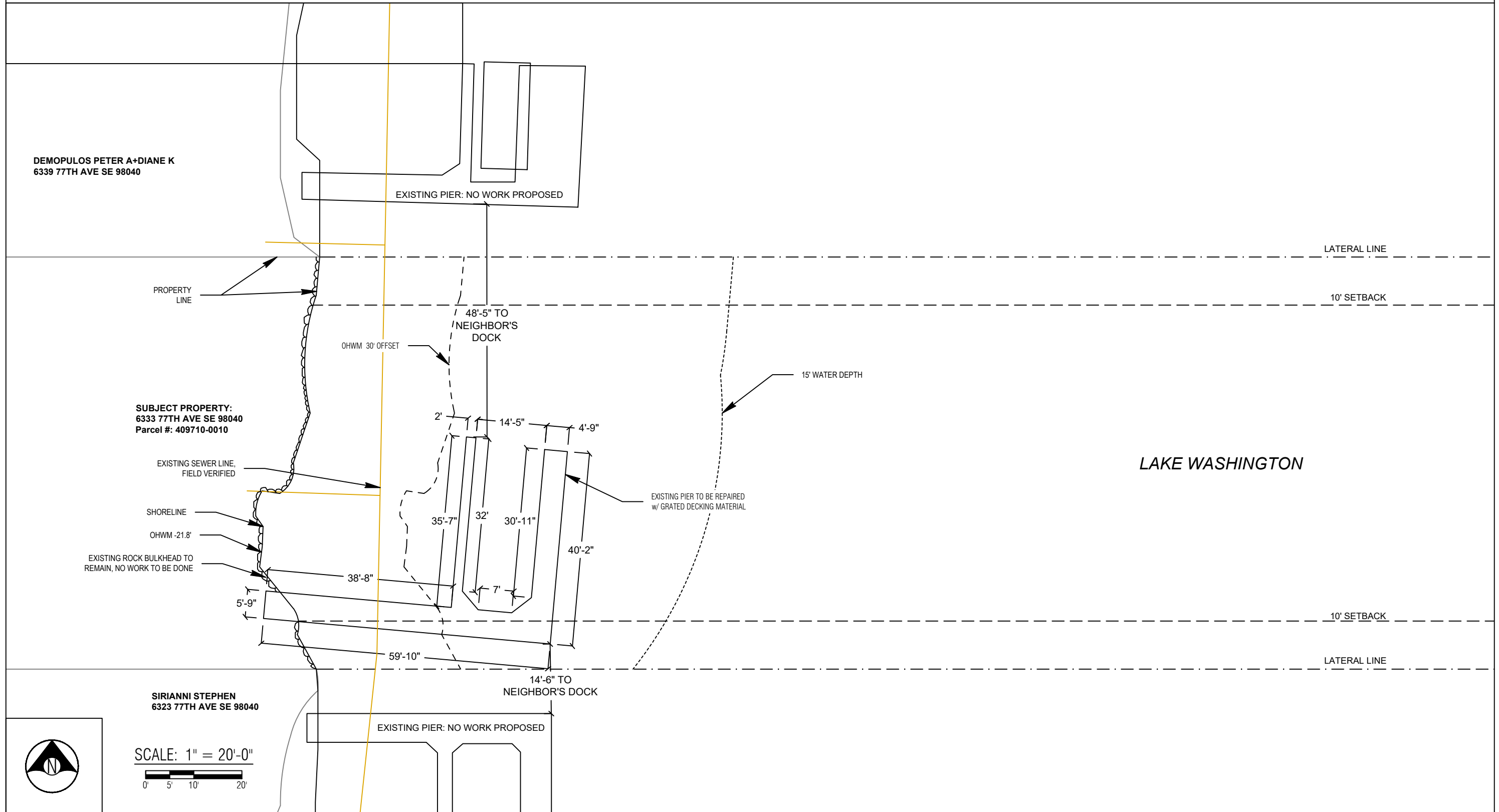
Office: 206-236-1700 ext. 3
www.seabornpiledriving.com

Scope of Work: We propose to repair (11) existing piles, repair (1) existing brace pile, repair the existing dock, and install a platform lift.

SHEET
2.0

EXISTING CONDITIONS

****CLEAN UP LAKE AROUND PROJECT****



SCALE: 1" = 20'-0"
 0' 5' 10' 20'



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 1080 W Ewing St
 Seattle, WA 98119

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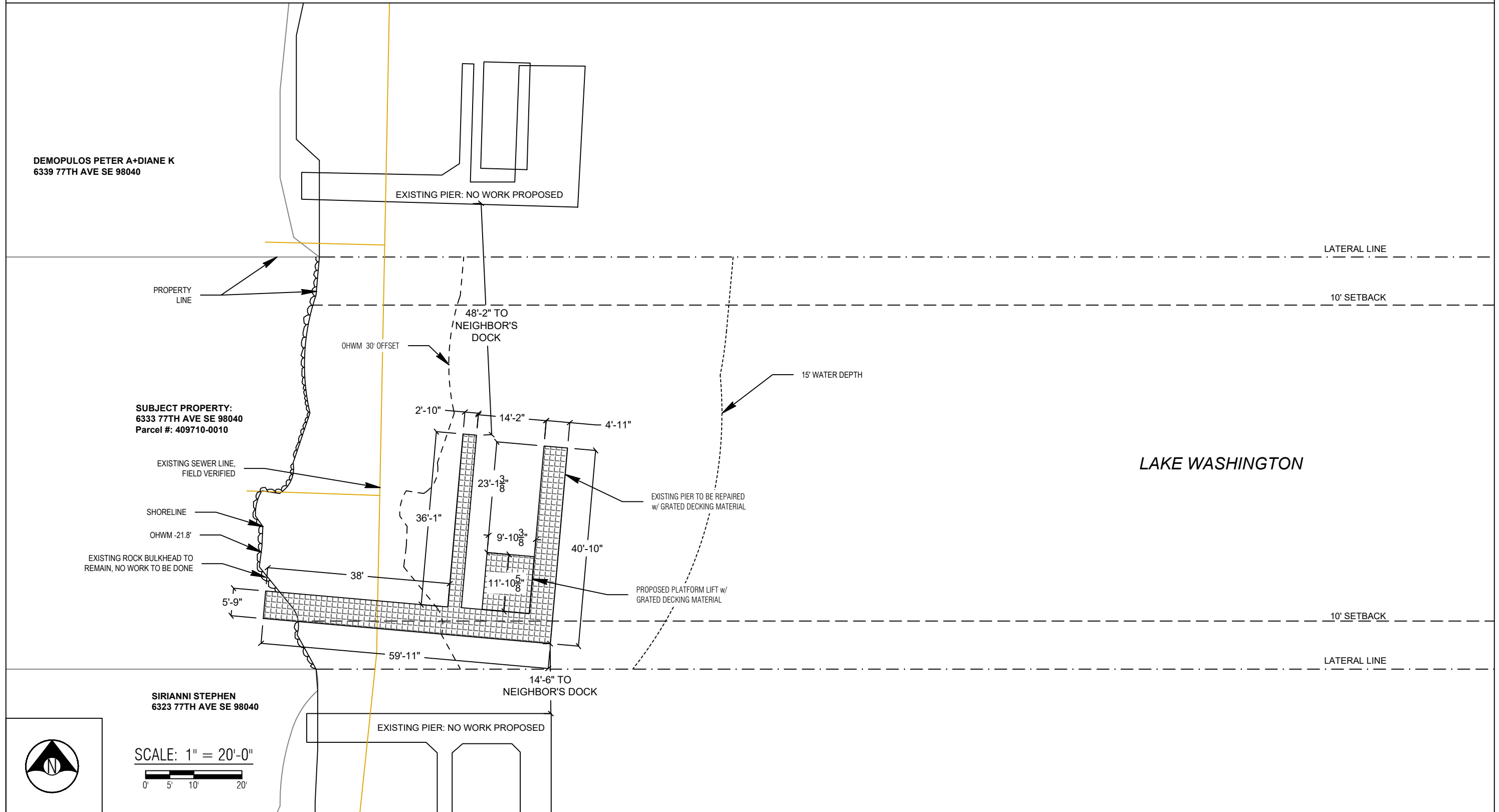
Scope of Work: We propose to repair (11) existing piles, repair (1) existing brace pile, repair the existing dock, and install a platform lift.

County: King County
 Location: Lake Washington
 Applicant: Wellmon Residence
 6333 77TH AVE SE
 MERCER ISLAND, WA 98040
 Datum: CORPS OF ENGINEERS 1919
 SE Quarter Of Section 24, Township 24, Range 04
 Adjacent Owners:
 SIRIANNI STEPHEN
 6323 77TH AVE SE 98040
 DEMOPULOS PETER A+DIANE K
 6339 77TH AVE SE 98040
 Last Updated: 6/5/2024 2:19 PM Shop
 Created: 08/24/23

SHEET
3.0

PROPOSED CONDITIONS

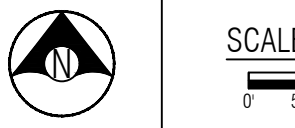
****CLEAN UP LAKE AROUND PROJECT****



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SHEET 4.0

PIER DETAILS - PROPOSED PLAN VIEW

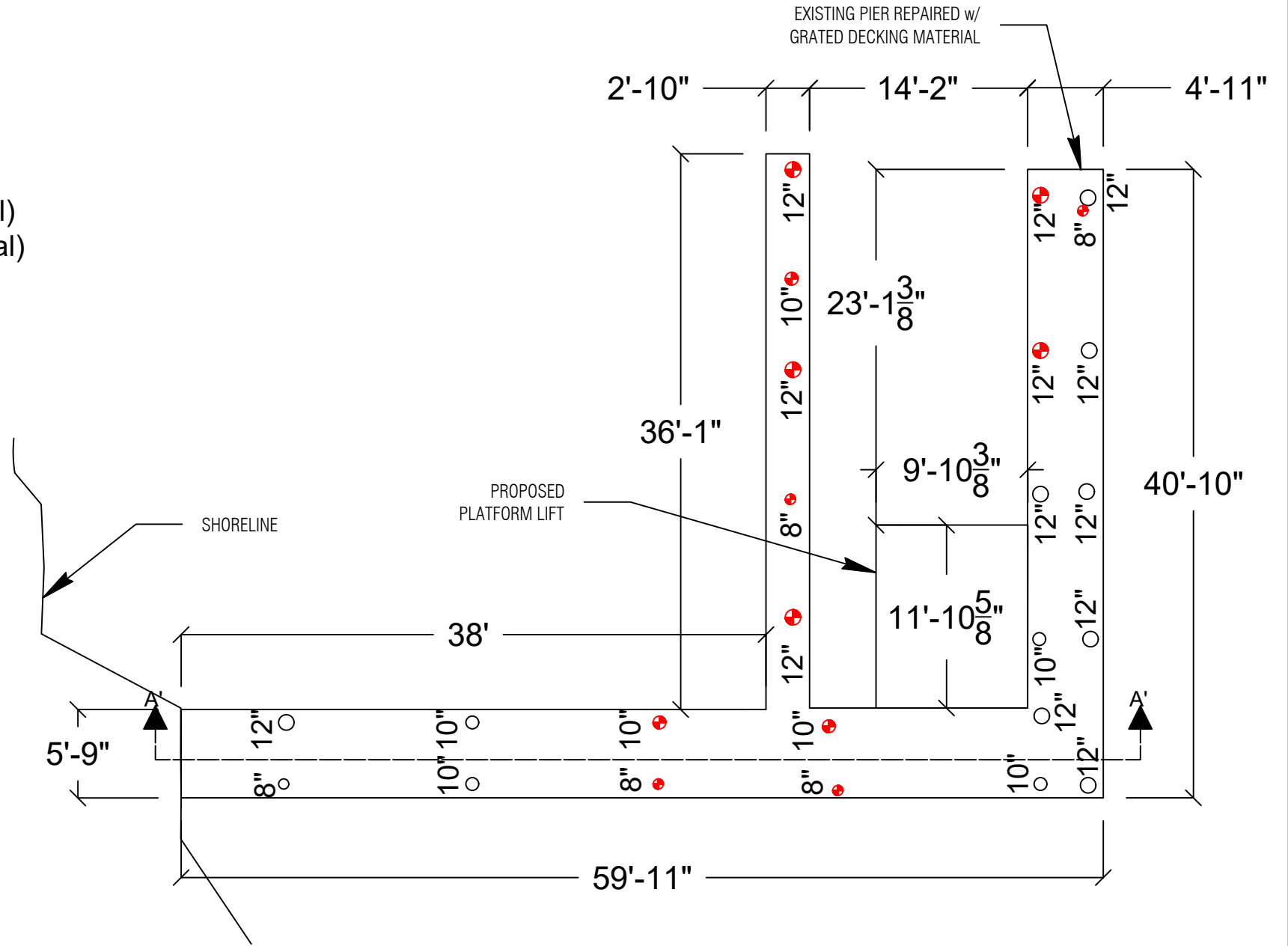
LEGEND

- ⊕ (11) EXISTING PILES - TO BE REPAIRED
- ⊕ (1) EXISTING BRACE PILE - TO BE REPAIRED
- (13) EXISTING PILES - NO WORK TO BE DONE

Existing Pier Total: 592 sqft (to be repaired with grated decking material)
 Existing Overwater: 592 sqft (to be repaired with grated decking material)

Proposed Platform Lift: 117 sqft (grated decking material)
 New Pier Total: 620 sqft (grated decking material)
 New Overwater Total: 737 sqft (grated decking material)

**Grated decking is 43% light permeable



PLAN VIEW



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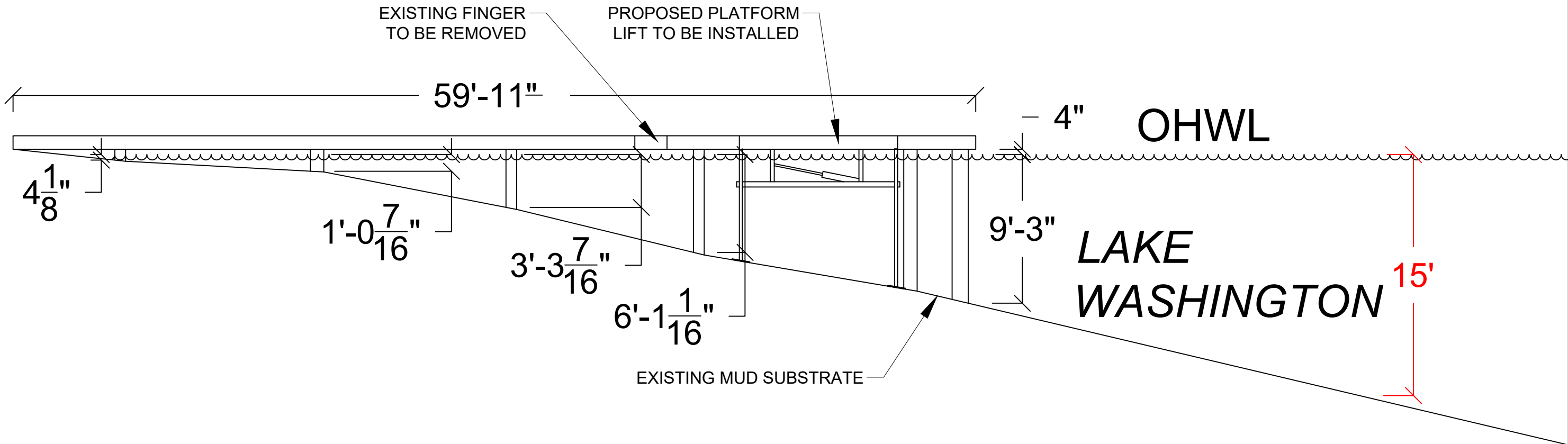
County: King County
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SHEET
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PIER DETAILS EXISTING/PROPOSED - SECTION VIEW



SECTION VIEW: A'-A'



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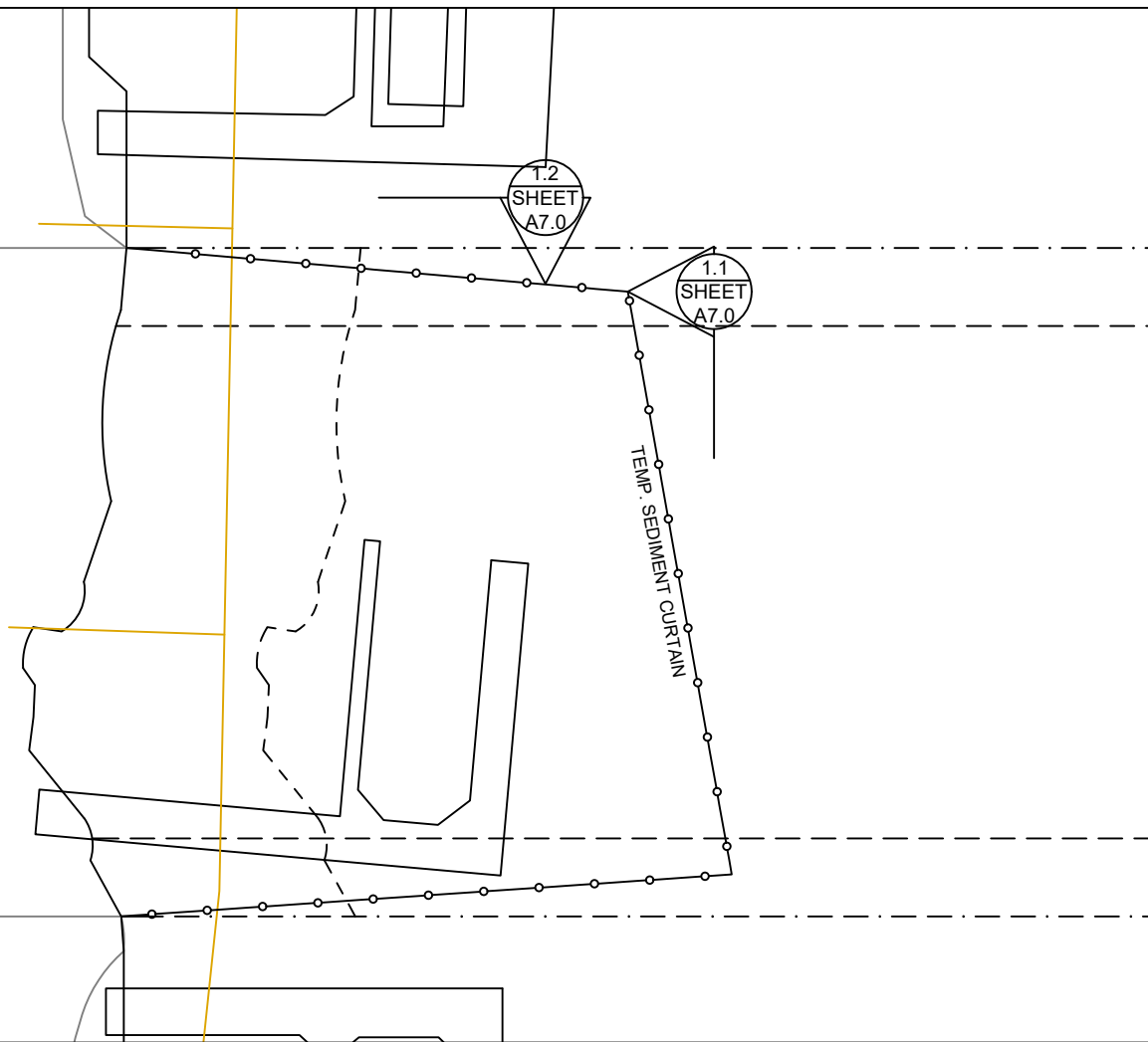
Adjacent Owners:
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SHEET
6.0

BMP INFORMATION

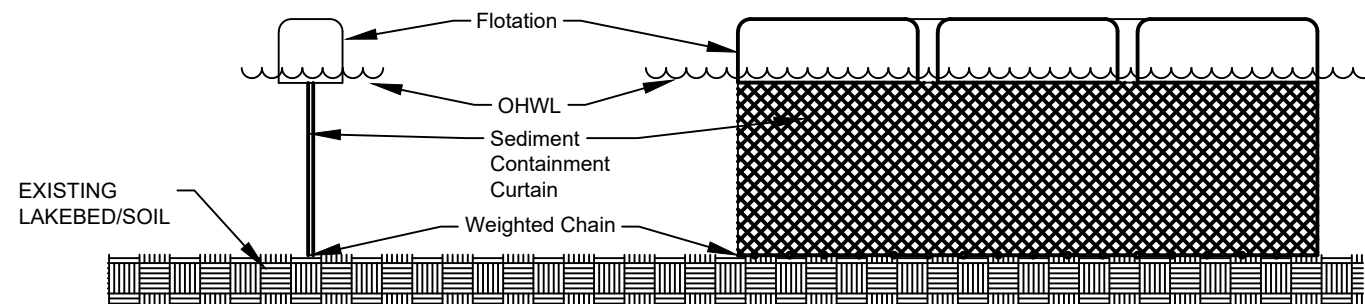


BMP NOTES:

- A. Constant vigilance shall be kept for the presence of protected fish species during all aspects of the proposed action, particularly during in-water activities such as vessel movement, deployment of anchors & spuds, pile driving, dredging, and placement of gravels and other fill.
- The project manager shall designate an appropriate number of competent observers to survey the project site and adjacent areas for protected species, including the presence of fish as conditions allow.
 - Visual surveys shall be made prior to the start of work each day, and prior to resumption of work following any break of more than an hour. Periodic additional visual surveys throughout the work day are strongly recommended.
 - All in-water work shall be done during the in-water work window for the waterbody. Where there is a difference between the USCOE and WDFW work windows, the overlap of the two shall apply.
 - All pile driving and extraction shall be postponed or halted when obvious aggregations or schooling of fish are observed within 50 yards of that work, and shall only begin/resume after the animals have voluntarily departed the area.
 - When piloting vessels, vessel operators shall operate at speeds and power settings to avoid grounding vessels, and minimize substrate scour and mobilization of bottom sediments.
- B. No contamination of the marine environment shall result from project-related activities.
- Appropriate materials to contain and clean potential spills shall be stored and readily available at the work site and/or aboard project-related vessels.
 - The project manager and heavy equipment operators shall perform daily pre-work equipment inspections for cleanliness and leaks. All heavy equipment operations shall be postponed or halted should a leak be detected, and shall not proceed until the leak is repaired and the equipment is cleaned.
 - To the greatest extent practicable, utilize biodegradable oils for equipment that would be operated in or near water.
 - Fueling of land-based vehicles and equipment shall take place at least 50 feet away from the water, preferably over an impervious surface. Fueling of vessels shall be done at approved fueling facilities.
 - Turbidity and siltation from project-related work shall be minimized and contained through the appropriate use of erosion control practices, effective silt containment devices, and the curtailment of work during adverse weather and tidal/flow conditions.
 - All wastes shall be collected and contained for proper disposal at approved upland disposal sites appropriate for the material(s).
 - When removing piles and other similarly treated wood, containment curtain must fully enclose the work area. Wood debris, oils, and any other materials released into lake waters must be collected, removed, and properly disposed of at approved disposal sites.
 - All in- and over-water wood cutting would be limited to the minimum required to remove the subject wood component, and all cutting work should be enclosed within floating containment curtain.
 - When removing piles, no actions shall be taken that would cause adhering sediments to return to lake waters.
 - Above-water containment shall be installed around removed piles to prevent sediment laden waters from returning to lake waters.
 - Construction staging (including stocking of materials, etc.) will occur on the supply barge.
 - All Exposed wood to be used on the project will be treated with a cheminite treatment.

DETAIL 1.1

DETAIL 1.2



DETAIL 1.1 & 1.2



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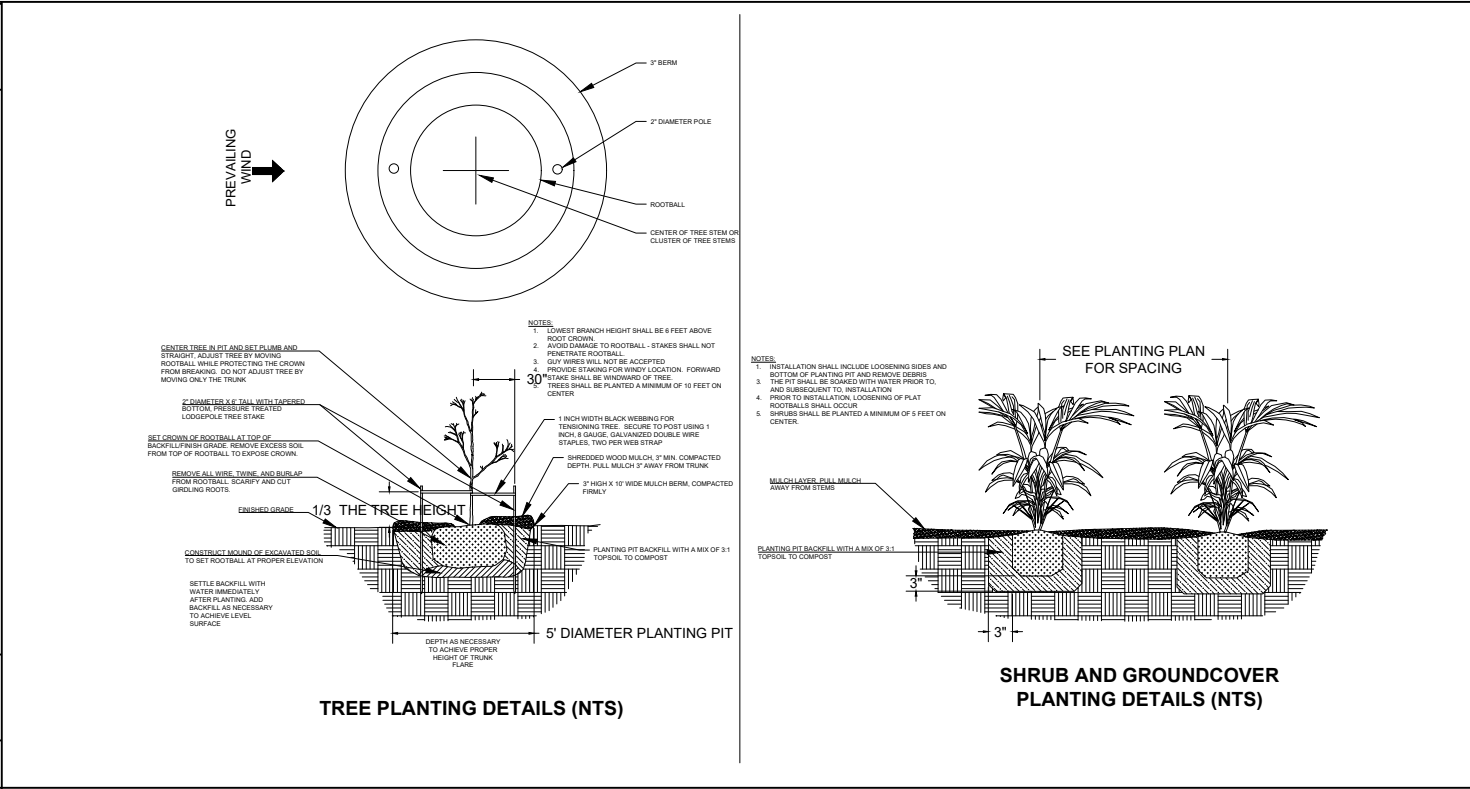
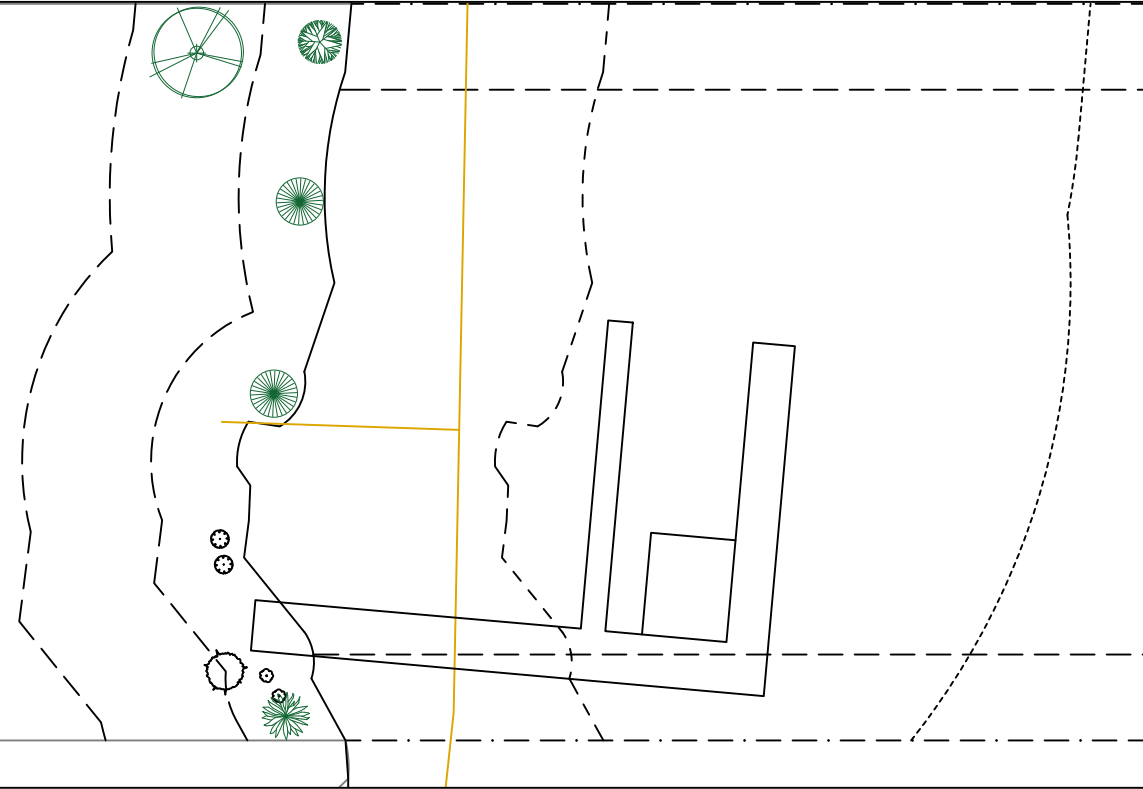
Adjacent Owners:
DEMOPULOS PETER A+DIANE K
6333 77TH AVE SE 98040

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MITIGATION PLAN



Notes:

- The property owner shall implement and abide by the shoreline planting plan, including the installation of the identified species, in the identified locations. Shrubs shall be planted at least five feet on center, and trees shall be planted at least ten feet on center.
- For best plant survival, planting should be completed the first October through March period concurrent with or immediately following the work authorized by this permit. A report, as-built drawing and photographs demonstrating the plants have been installed or a report on the status of project construction will be submitted to the U.S. Army Corps of Engineers, Seattle District, Regulatory Branch, within 12 months from the date of permit issuance. This reporting requirement may be met by completing and submitting a U.S. Army Corps of Engineers approved Report for Mitigation Work Completion form.
- The property owner shall preserve in good health 100% of shoreline planting plan vegetation for as long as the structures that have been permitted under the RAP program remain in place. Plants that die must be replaced with the appropriate plant type (i.e. tree for tree, shrub for shrub) from the RAP Plant List.
- The property owner shall monitor the survival of shoreline planting plan vegetation for five years (Monitoring Years 1-5) after the U.S. Army Corps of Engineers accepts the as-built report. The property owner shall also submit annual monitoring reports to the U.S. Army Corps of Engineers each year during this period. Each annual monitoring report will include written and photographic documentation that the performance standards are being met, including documentation of plant mortality and replacement. Photos will be taken from established points and used repeatedly for each monitoring year. In addition to photos at designated points, photo documentation will include a panoramic view of the entire planting area. Submitted photos will be formatted on standard 8 1/2 x 11" paper, dated with the date the photo was taken, and clearly labeled with the direction from which the photo was taken. The photo location points will be identified on an appropriate drawing. Annual shoreline planting monitoring reports will be submitted to the U.S. Army Corps of Engineers, Seattle District, Regulatory Branch, by November 31 of each monitoring year. This reporting requirement may be met by completing and submitting a U.S. Army Corps of Engineers approved Mitigation Planting Monitoring Report form.

PROPOSED PLANTING SPECIES/QUANTITIES				
SYMBOL	LATIN NAME	COMMON NAME	QTY	SIZE
	<i>Thuja plicata</i>	Western Red Cedar	1	3 ft
	<i>Pinus contorta v contorta</i>	Shore pine	1	3 ft
	<i>Rosa nutkana</i>	Nootka Rose	1	1 Gallon
	<i>Philadelphus lewisii</i>	Mock Orange	2	1 Gallon

PLANTS: Shrubs to be installed 5ft on center and trees to be installed 10ft on center. All proposed existing plants for credit have been established for 5 years or more on the property.

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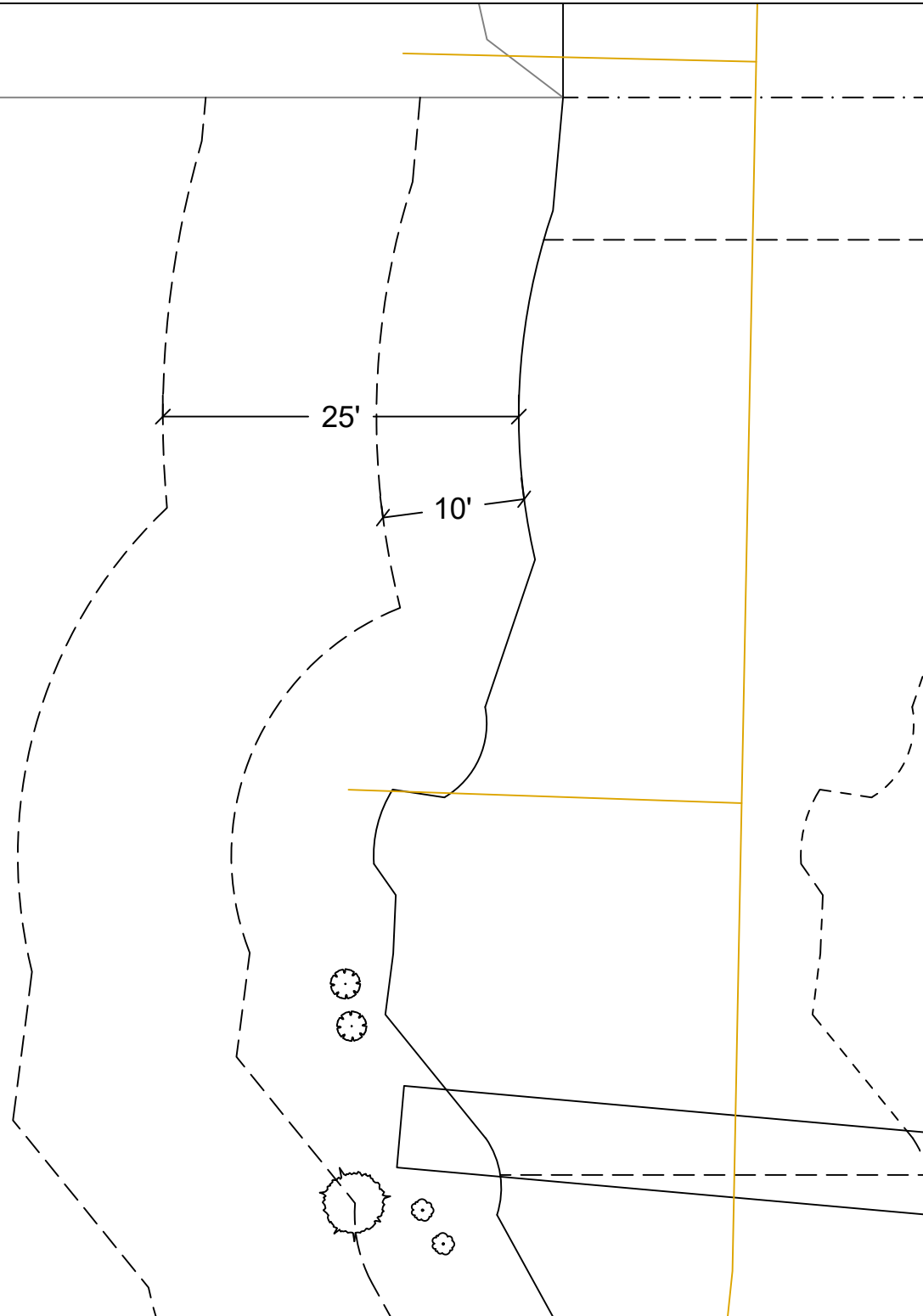
Office: 206-236-1700 ext. 3
www.seabornpiledriving.com

Scope of Work: We propose to repair (11) existing piles, repair (1) existing brace pile, repair the existing dock, and install a platform lift.

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NWS-2022-XXX
 PAGE 8 OF 12

EXISTING PLANT PLAN



EXISTING PLANTING SPECIES/QUANTITIES

SYMBOL	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE
	<i>Pyrus communis</i>	Common Pear	1	~5'
	<i>Sonchus oleraceus</i>	Common Sowthistle	2	~2ft
	<i>Leucanthemum maximum</i>	Shasta Daisy	2	~ 2ft

PLAN VIEW

EXISTING PLANTS TABLE



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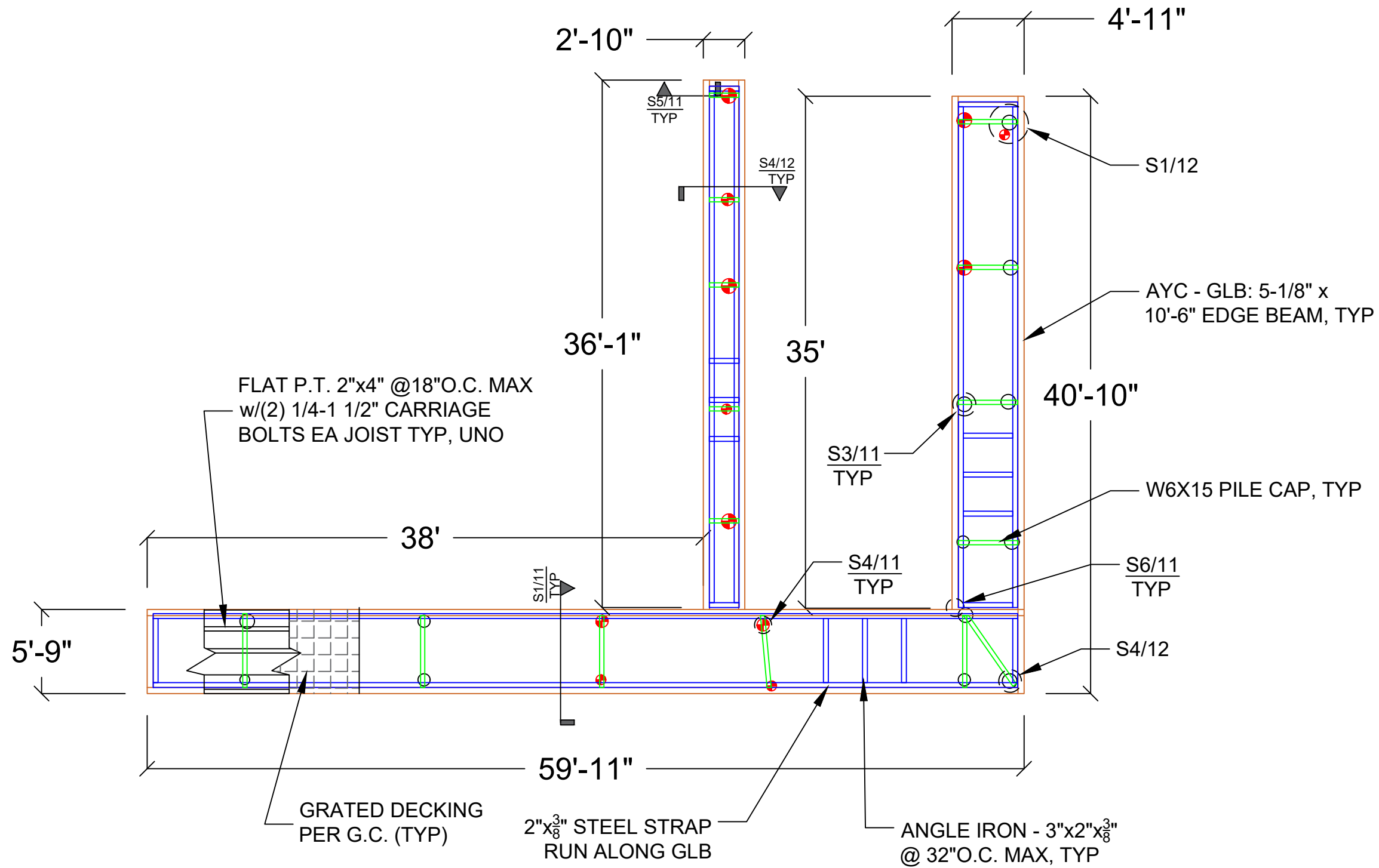
Adjacent Owners:
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6339 77TH AVE SE 98040

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6323 77TH AVE SE 98040

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Last Updated: 6/5/2024 2:19 PM Shop

SHEET
9.0

FRAMING PLAN



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 SE Quarter Of Section 24, Township 24, Range 04
 County: King County
 Location: Lake Washington
 Applicant: Wellmon Residence
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 MERCER ISLAND, WA 98040
 Adjacent Owners:
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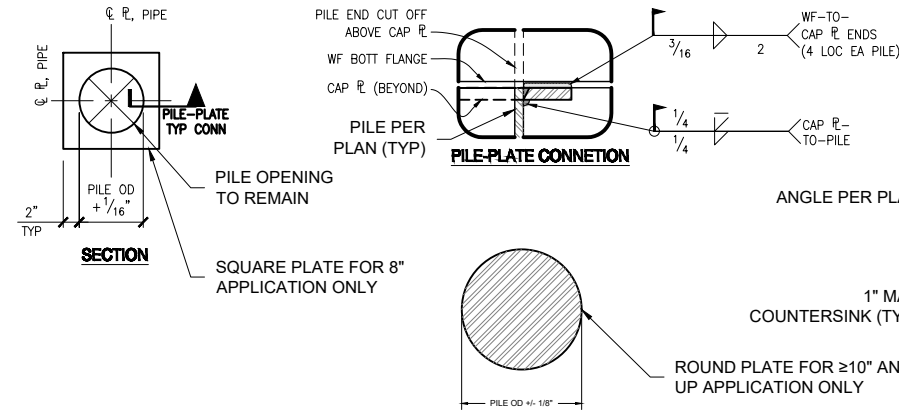


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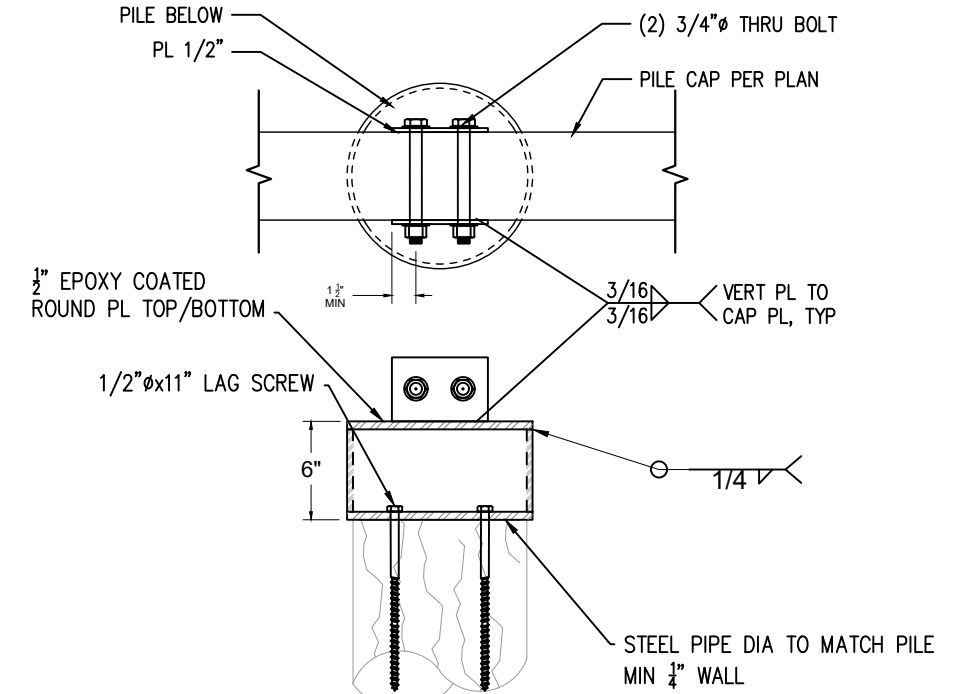
Scope of Work: We propose to repair (11) existing piles, repair (1) existing brace pile, repair the existing dock, and install a platform lift.

SHEET 10.0

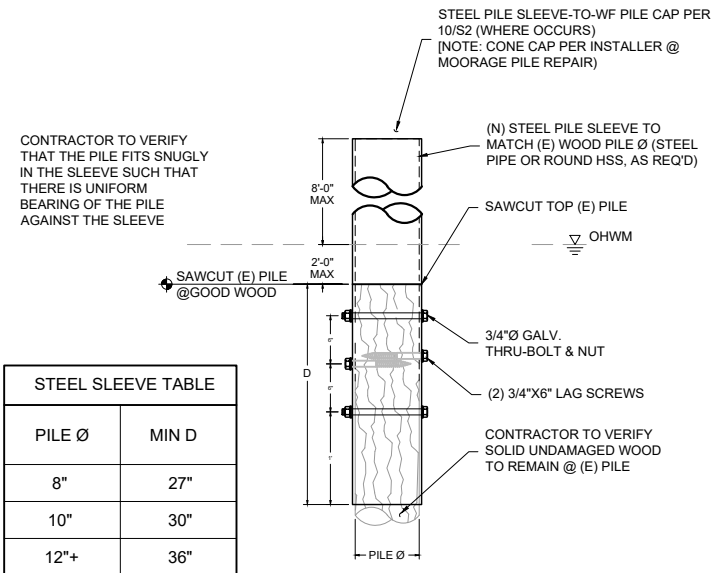
DETAILS - TRACK



S1 DOCK SECTION w/PILES - TYP
SCALE: 1" = 1'

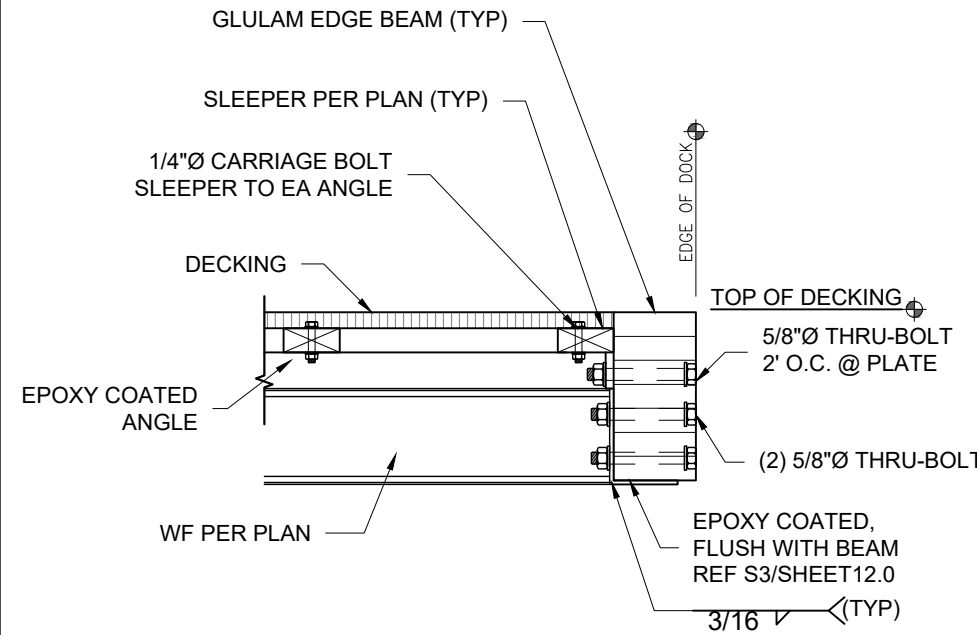


S3 I-BEAM CAP TO WOOD PILE - TYP
SCALE: 1" = 1'

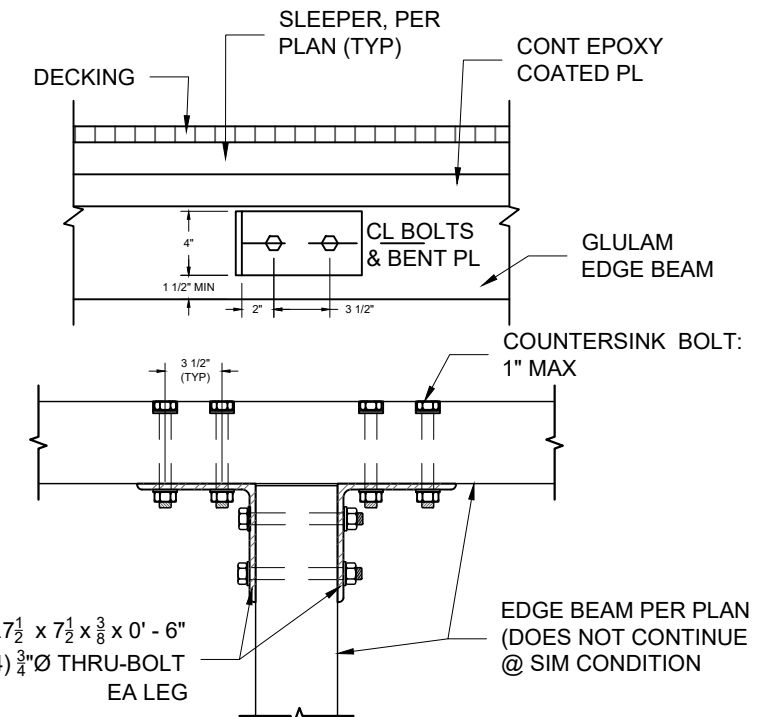


STEEL SLEEVE TABLE	
PILE Ø	MIN D
8"	27"
10"	30"
12"+	36"

S4 SLEEVE PILE REPAIR
SCALE: 1/2" = 1'



S5 EDGE SECTION (STEEL TRACK) - TYP
SCALE: 1" = 1'



S6 BEAM TO BEAM - TYP
SCALE: 1" = 1'



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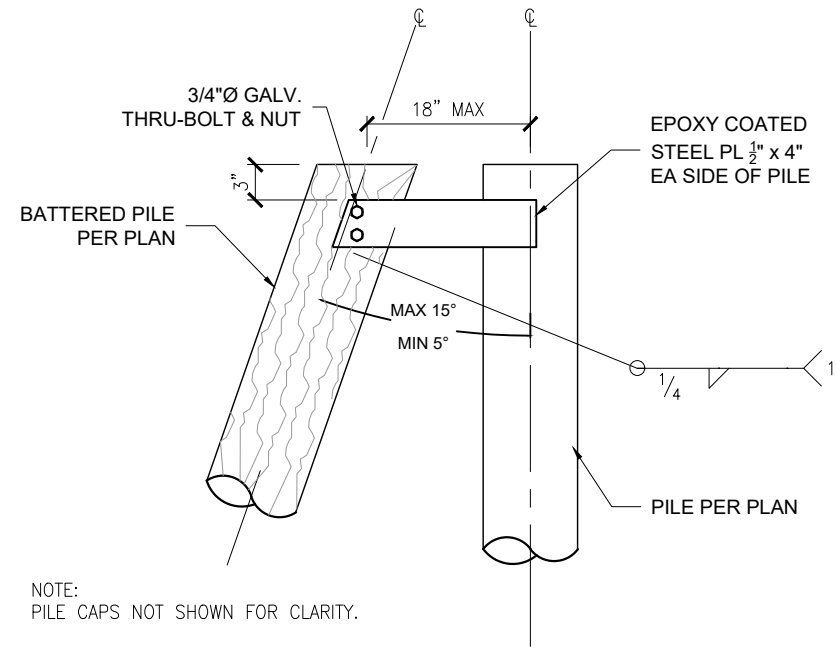
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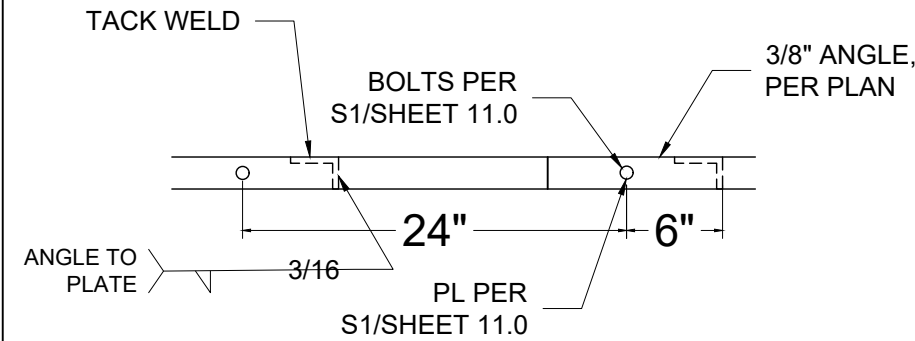
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11.0

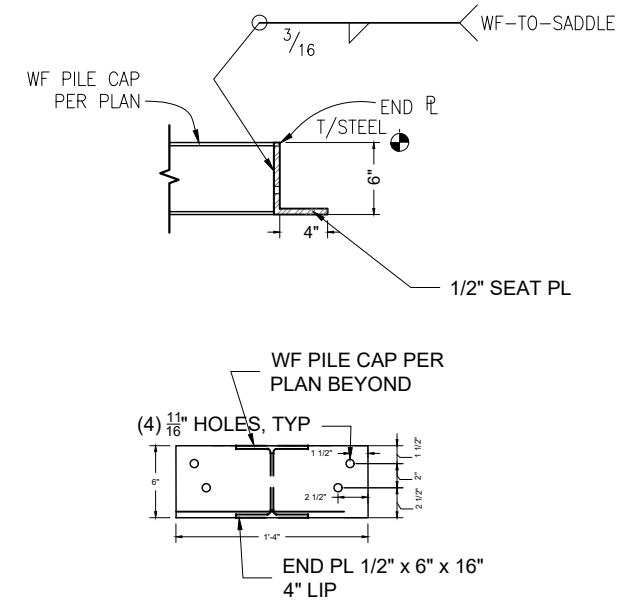
DETAILS - TRACK



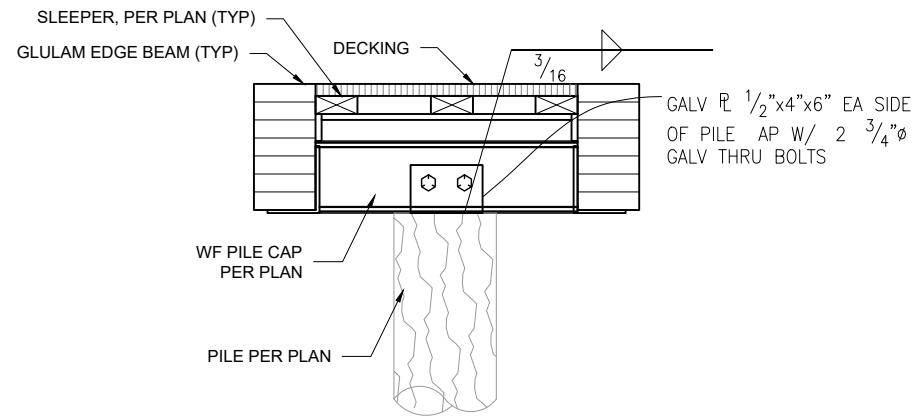
S1 BRACE PILES - TYP
SCALE: 3/4" - 1"



S2 ANGLE TO PLATE - TYP
SCALE: 1" - 1"



S3 BEAM SADDLE BRACKET
SCALE: 3/4" - 1"



S4 DOCK SECTION AT SINGLE WOOD PILE
SCALE: 3/4" - 1"

S5 DETAIL NOT IN USE

S6 DETAIL NOT IN USE



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Created: 08/24/23

SHEET
12.0

Applicant Information

Project Address: 6333 77th Ave SE, Mercer Island, WA 98040

Parcel Number: 409710-0010

Applicant: Seaborn Pile Driving Company, 1080 W Ewing St Building B, Seattle, WA 98119 206-236-1700

Property Owner: Lindsey Wellmon

Legal Description: LAKE VIEW HIGHLANDS WATERFRONT TR N 8.21 FT OF 1 ALL 2 & SH LDS ADJ

Description of Work: We propose to repair (11) existing piles, repair (1) existing brace pile, repair the existing dock, and install a platform lift.

Job specific comments

Purpose

The proposed dock is to provide for safe boat moorage and safe water recreational activities for a single-family residence.

Habitat Enhancement

The proposed planting plan has been designed to mitigate the existing and proposed pier.

Water Quality

In order to prevent debris from entering the lake during the demolition stage of the project, a containment boom will surround the crane barge and work area.

Permits

Mercer Island Exemption Permit:

We are applying for the permit to be reviewed under the:

“Development Standards for Replacement, Repair and Maintenance of Overwater Structures, Including Moorage Facilities” per MIMC 19.13.050(F)(2).

Mitigation

Shoreline Plantings: The shoreline plantings have been designed to provide the spread of tree and shrub nutrients into the adjacent waters of Lake Washington.

Fully grated deck: The proposed dock will have a fully grated deck to provide light penetration below the dock where there is no light penetration with the existing structure.

Piles: The proposed pier has been designed to maximize the distance between pile bents and minimize the number of piles. The proposed 6" – 8" piles meet local building codes and reduce the pile footprint.

Contractor: Seaborn Pile Driving Company License #: SEABOPD942CG

Address: 1080 W Ewing St. Bldg B. Seattle WA 98119

Office: 206.236.1700

Contact: Zion Napier

Email: permits@seabornpiledriving.com

Construction Narrative

Mobilization

Mobilize crew, crane barge, supply, and material barge to site

Pile Repair Standard Pile Sleeve Method

1. Set out a Sediment Containment Curtain around the work area waterward of the bulkhead to contain any silt and debris that may be generated during construction.
2. Cut the pile below the waterline until you reach good wood.
3. Attach the epoxy-coated steel sleeve to the existing stub with epoxy-coated steel thru bolts and nuts.
4. Confirm the pilings are straight and solid.
5. Cut the pilings to elevation.
6. Attach the new pile repair to the existing pile cap.
7. Clean the work area and remove the sediment curtain.

Dock construction (Track Dock)

1. Set out a Sediment Containment Curtain around the work area waterward of the bulkhead to contain any silt and debris that may be generated during construction.
2. Install new piles where applicable.
3. Install new steel I-beam pile caps and attach them to the piles by welding.
4. Install metal brackets on the edge of the cap by welding them to the I-beam to support glulam beams.
5. Install dock section made of Glulam Beams and angle iron framing with 2x4 nailers to support the Surestep grated decking.
6. Install the electrical conduit and water lines under the deck along the dock. Wiring and re-connection to be completed by others.
7. Install the SureStep grated decking with epoxy-coated steel screws making sure the screws are aligned and flush with the surface.
8. Install any boat or PWC lifts.

9. Clean the work area and remove the sediment curtain.

Platform Lift Installation

1. Set out a Sediment Containment Curtain around the work area waterward of the bulkhead to contain any silt and debris that may be generated during construction.
2. Set lift on the lakebed.
3. Adjust legs to the correct height.
4. Clean the work area and remove the sediment curtain.

Structural Notes

General

- All materials, workmanship, design, and construction shall conform to the submitted drawings and the International Building Code.
- The contractor will be responsible for all safety precautions and methods and processes to perform the designated work.

Design Criteria

- The existing design and construction meet the live load specification of a minimum of 40 PSF.

Materials

All materials used in the construction of the dock will be for use on the water and of the highest quality available on the market. All materials will conform to the International Building Code.

For example:

- Wood piles and pile stubs. The proposed wood pile will be Class B (12" @ 3' from Butt) – 40' Douglas Fir pilings per ASTM D-25.
- Steel piles/ Sleeves – ASTM A53 GrB with Devran 261QC low temperate cure epoxy (16 mils) finish coated full length.
- Structural Lumber – All lumber will be graded and marked in conformance with WCLIB standard grading rules.
- Fasteners – All fasteners, bolts, nuts, and nails will be epoxy-coated.
- Decking – The decking will consist of Surestep fiberglass grating which is pet and children-friendly and will provide years of safe and comfortable use.

Preservatives

- All wood preservatives to be state approved and will be applied and fully cured prior to installation over the water.
- All hardware and fasteners to be epoxy-coated.

Best Management Practices

1. Above the Water Line Work

1. Seaborn Pile Driving Company will employ one crane barge, one supply, and one debris barge to complete the scope of work. A tug will tow the barges on and off the job site.

2. Seaborn Pile Driving Company personnel working in, near, or over the water will at all times wear either USCG approved life vests or work vests as well as hard hats and safety glasses.

2. Material Handling

1. While at the job site, a floating containment boom will completely surround the work area.
2. All removed piles and the existing dock structure will be placed on the debris barge where they will be contained and kept out of the lake.

3. Hazardous Materials

- No hazardous materials will be mixed or stored in or near the water. No cleaning of materials will be performed in or near the water.

4. Polluting Materials in Water

- Seaborn Pile Driving Company will take extra precautions to ensure materials don't fall into or pollute the water. Any material that enters the water will be removed immediately. Any hazardous material such as oily rags will not be handled near or over the water.
- A spill kit will be employed on the barges at the job site.
- If any pollutants enter the water, Seaborn Pile Driving Company will contact the appropriate agencies and report the spill immediately.

5. Materials Disposal

- Seaborn Pile Driving Company will dispose of the rotten wood and pile sections in an approved legal disposal site in accordance with all applicable laws and permit requirements.

CITY OF MERCER ISLAND
COMMUNITY PLANNING & DEVELOPMENT

9611 SE 36TH STREET | MERCER ISLAND, WA 98040
 PHONE: 206.275.7605 | www.mercergov.org



CITY USE ONLY	
Date Received	
File No	
Received By	

ENVIRONMENTAL CHECKLIST

PURPOSE OF CHECKLIST

The State Environmental Policy Act (SEPA), chapter 43.21C RCW, requires all governmental agencies to consider the environmental impacts of a proposal before making decisions. An environmental impact statement (EIS) must be prepared for all proposals with probable significant adverse impacts on the quality of the environment. The purpose of this checklist is to provide information to help you and the agency identify impacts from your proposal (and to reduce or avoid impacts from the proposal, if it can be done) and to help the agency decide whether an EIS is required.

PRE-APPLICATION MEETING

A pre-application meeting is used to determine whether a land use project is ready for review, to review the land use application process, and to provide an opportunity for initial feedback on a proposed application. Some land use applications require a pre-application – in particular: short and long subdivisions, lot line revisions, shoreline permits, variances, and critical area determinations. The City strongly recommends that all land use applications use the pre-application process to allow for feedback by City staff.

Please note: pre-application meetings are held on Tuesdays, by appointment. To schedule a meeting, submit the meeting request form and the pre-application meeting fee (see fee schedule). Meetings must be scheduled at least one week in advance. Applicants are required to upload a project narrative, a list of questions/discussion points, and preliminary plans to the Mercer Island File Transfer Site one week ahead of the scheduled meeting date.

SUBMITTAL REQUIREMENTS

In addition to the items listed below, the code official may require the submission of any documentation reasonably necessary for review and approval of the land use application. An applicant for a land use approval and/or development proposal shall demonstrate that the proposed development complies with the applicable regulations and decision criteria.

- A. **Completed pre-application.**
- B. **Development Application Sheet.** Application form must be fully filled out and signed.
- C. **Development Plan Set.** Please refer to the Land Use Application- Plan Set Guide in preparing plans.
- D. **Title Report.** Less than 30 days old.
- E. **SEPA checklist.**

INSTRUCTIONS FOR APPLICANTS

This environmental checklist asks you to describe some basic information about your proposal. Governmental agencies use this checklist to determine whether the environmental impacts of your proposal are significant, requiring preparation of an EIS. Answer the questions briefly, with the most precise information known, or give the best description you can.

You must answer each question accurately and carefully, to the best of your knowledge. In most cases, you should be able to answer the questions from your own observations or project plans without the need to hire experts. If you really do not know the answer, or if a question does not apply to your proposal, write "do not know" or "does not apply." Complete answers to the questions now may avoid unnecessary delays later. Some questions ask about governmental regulations, such as zoning, shoreline, and landmark designations. Answer these questions if you can. If you have problems, the governmental agencies can assist you. The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

USE OF CHECKLIST FOR NONPROJECT PROPOSALS

For nonproject proposals complete this checklist and the supplemental sheet for nonproject actions (Part D). The lead agency may exclude any question for the environmental elements (Part B) which they determine do not contribute meaningfully to the analysis of the proposal. For nonproject actions, the references in the checklist to the words "project," "applicant," and "property or site" should be read as "proposal," "proposer," and "affected geographic area," respectively.

A. BACKGROUND

- 1. Name of proposed project, if applicable:

- 2. Name of applicant:

- 3. Address and phone number of applicant and contact person:

- 4. Date checklist prepared:

- 5. Agency requesting checklist:

- 6. Proposed timing or schedule (including phasing, if applicable):

7. Do you have any plans for future additions, expansions, or further activity related to or connected with this proposal? If yes, explain:

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal:

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain:

10. List any government approvals or permits that will be needed for your proposal, if known:

11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.)

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist.

B. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site (check one):

Flat Rolling Hilly Steep slopes Mountainous Other

b. What is the steepest slope on the site (approximate percent slope)?

c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils.

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill.

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

2. Air

a. What types of emissions to the air would result from the proposal (i.e., dust, automobile, odors, and industrial wood smoke) during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known.

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

c. Proposed measures to reduce or control emissions or other impacts to air, if any:

3. Water

a. Surface:

i. Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

ii. Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

iii. Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

iv. Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

v. Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

- vi. Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

b. Ground

- i. Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well? Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known.

- ii. Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, [containing the following chemicals...]; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

c. Water runoff (including stormwater):

- i. Describe the source of runoff (including stormwater) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

- ii. Could waste materials enter ground or surface waters? If so, generally describe.

- d. Proposed measures to reduce or control surface, ground, runoff water, and drainage pattern impacts, if any:

4. Plants

- a. Check types of vegetation found on the site
- Deciduous tree: Alder, Maple, Aspen, other
 - Evergreen tree: Fir, Cedar, Pine, other
 - Shrubs
 - Grass

- Pasture
- Crop or grain
- Wet soil plants: Cattail, buttercup, bulrush, skunk cabbage, other
- Water plants: Water lily, eelgrass, milfoil, other
- Other types of vegetation

b. What kind and amount of vegetation will be removed or altered?

c. List threatened or endangered species known to be on or near the site.

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

e. List all noxious weeds and invasive species known to be on or near the site.

5. Animals

a. State any birds and animals which have been observed on or near the site or are known to be on or near the site. Examples include:

Birds: hawk, heron, eagle, songbirds, other:

Mammals: deer, bear, elk, beaver, other:

Fish: bass, salmon, trout, herring, shellfish, other:

b. List any threatened or endangered species known to be on or near the site.

c. Is the site part of a migration route? If so, explain.

d. Proposed measure to preserve or enhance wildlife, if any:

-
-
- e. List any invasive animal species known to be on or near the site.
-
-
-

6. Energy and natural resources

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.
-
-
-

- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.
-
-
-

- c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any:
-
-
-

7. Environmental health

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste that could occur as a result of this proposal? If so, describe.
-
-
-

- i. Describe any known or possible contamination at the site from present or past uses.
-
-
-

- ii. Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity.
-
-
-

- iii. Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project.
-
-
-

iv. Describe special emergency services that might be required.

v. Proposed measures to reduce or control environmental health hazards, if any:

b. Noise

i. What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)?

ii. What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.

iii. Proposed measures to reduce or control noise impacts, if any:

8. Land and shoreline use

a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe.

b. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use?

c. Describe any structures on the site.

d. Will any structures be demolished? If so, what?

e. What is the current zoning classification of the site?

f. What is the current comprehensive plan designation of the site?

g. If applicable, what is the current shoreline master program designation of the site?

h. Has any part of the site been classified as an “environmentally sensitive” area? If so, specify.

i. Approximately how many people would reside or work in the completed project?

j. Approximately how many people would the completed project displace?

k. Proposed measures to avoid or reduce displacement impacts, if any:

l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

9. Housing

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

- c. Proposed measures to reduce or control housing impacts, if any:

10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas? What is the principal exterior material(s) proposed?

- b. What views in the immediate vicinity would be altered or obstructed?

- c. Proposed measures to reduce or control aesthetics impacts, if any:

11. Light and glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

- b. Could light or glare from the finished project be a safety hazard or interfere with views?

- c. What existing off-site sources of light or glare may affect your proposal?

- d. Proposed measures to reduce or control light and glare impacts, if any:

12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity?

b. Would the proposed project displace any existing recreational uses? If so, describe.

c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

13. Historic and cultural preservation

a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers? If so, specifically describe.

b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources.

c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc.

d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required.

14. Transportation

a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any.

- b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop?

- c. How many additional parking spaces would the completed project or nonproject proposal have? How many would the project or proposal eliminate?

- d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private).

- e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

- f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and non-passenger vehicles). What data or transportation models were used to make these estimates?

- g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe.

- h. Proposed measures to reduce or control transportation impacts, if any:

15. Public services

- a. Would the project result in an increased need for public services (for example; fire protection, police protection, health care, schools, other)? If so, generally describe.

- b. Proposed measures to reduce or control direct impacts on public services, if any.

16. Utilities

a. Check utilities currently available at the site:

- | | | | |
|--------------------------------------|---|--|---|
| Electricity <input type="checkbox"/> | Natural Gas <input type="checkbox"/> | Water <input type="checkbox"/> | Refuse Service <input type="checkbox"/> |
| Telephone <input type="checkbox"/> | Sanitary sewer <input type="checkbox"/> | Septic system <input type="checkbox"/> | Other <input type="checkbox"/> |

b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

C. SIGNATURE

I certify (or declare) under penalty of perjury under the laws of the State of Washington that the answers to the attached SEPA Checklist are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature: *Zion Napier*

Date Submitted: _____

SEPA RULES

SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS

(do not use this sheet for project actions)

Because these questions are very general, it may be helpful to read them in conjunction with the list of the elements of the environment.

When answering these questions, be aware of the extent the proposal, or the types of activities likely to result from the proposal, would affect the item at a greater intensity or at a faster rate than if the proposal were not implemented. Respond briefly and in general terms.

1. How would the proposal be likely to increase discharge to water; emissions to air; productions, storage, or release of toxic or hazardous substances; or production of noise?

Proposed measures to avoid or reduce increases are:

2. How would the proposal be likely to affect plants, animals, fish, or marine life?

Proposed measures to protect or conserve plants, animals, fish, or marine life are:

3. How would the proposal be likely to deplete energy or natural resources?

Proposed measures to protect or conserve energy and natural resources are:

4. How would the proposal be likely to use or affect environmentally sensitive areas or areas designated (or eligible or under study) for governmental protection; such as parks, wilderness, wild and scenic rivers, threatened or endangered species habitat, historic or cultural sites, wetlands, floodplains, or prime farmlands?

Proposed measures to protect such resources or to avoid or reduce impacts are:

5. How would the proposal be likely to affect land and shoreline use, including whether it would allow or encourage land or shoreline uses incompatible with existing plans?

Proposed measures to avoid or reduce shoreline and land use impacts are:

6. How would the proposal be likely to increase demands on transportation or public services and utilities?

Proposed measures to reduce or respond to such demand(s) are:

7. Identify, if possible, whether the proposal may conflict with local, state, or federal laws or requirements for the protection of the environment.

[Statutory Authority: RCW [43.21C.110](#), WSR 16-13-012 (Order 15-09), § 197-11-960, filed 6/2/16, effective 7/3/16. Statutory Authority: RCW [43.21C.110](#) and [43.21C.100](#) [43.21C.170]. WSR 14-09-026 (Order 13-01), § 197-11-960, filed 4/9/14, effective 5/10/14. Statutory Authority: RCW [43.21C.110](#), WSR 13-02-065 (Order 12-01), § 197-11-960, filed 12/28/12, effective 1/28/13; WSR 84-05-020 (Order DE 83-39), § 197-11-960, filed 2/10/84, effective 4/4/84.]

Ecological No Net Loss Assessment Report

Prepared for

Wellmon Residence
6333 77th Ave SE
Mercer Island, WA 98040

Prepared by

 **Northwest**
Environmental Consulting, LLC

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November 2023

Purpose

The purpose of this report is to fulfill the requirements of City of Mercer Island Municipal Code Shoreline Master Program by assessing overall project impacts and proposed mitigation to determine if the project meets the “No Net Loss” General Regulation of the Shoreline Master Program.

No Net Loss is defined as “An ecological concept whereby conservation losses in one geographic or otherwise defined area are equaled by conservation gains in function in another area.”

Permits are being applied for a dock repairs and associated moorage improvements.

Location

The subject property is located at 6333 77th Ave SE (King County parcel number 4097100010) in the City of Mercer Island, Washington (see Appendix A – Sheet A1.0). The parcel is on the waterfront of Lake Washington, a shoreline of the state, that contains several endangered fish species listed under the Endangered Species Act and Washington State designated priority fish species.

Project Description

The proposed work will remove the existing 592 square foot deck from the dock. The existing timber piles (3 8-inch, 3 10-inch, 5 12-inch and 1 8-inch brace pile) will be repaired by pile splicing. The deck will be replaced with grated decking and expanded by 35 square feet by widening the main and two finger piers. A new 117 square foot fully grated platform lift will be placed between the finger piers. See Appendix A – Sheets A2.0 to A12.0.

During construction, a floating boom will surround the work barge and dock. (See Appendix A – Sheets A7.0)

A shoreline vegetation plan is proposed, that will add 2 native conifers and 3 native shrubs. These shoreline plantings will provide shade and allow beneficial allochthonous material to enter the lake along the shoreline. Existing vegetation will be persevered. (See Appendix A – Sheet A8.0 and A9.0).

Project drawings are included in Attachment A.

Approach

Northwest Environmental Consulting LLC (NVEC) biologist Brad Thiele conducted a site visit on October 25, 2023 to evaluate conditions on site and adjacent to the site. NVEC also consulted the following sources for information on potential critical fish and wildlife habitat along this shoreline:

- Washington Department of Fish and Wildlife (WDFW): Priority Habitats and Species online database (<http://apps.wdfw.wa.gov/phsontheweb/>)
- WDFW SalmonScape online database of fish distribution and ESA listing units (<https://apps.wdfw.wa.gov/salmonscape/>)

- Mercer Island GIS online database (<https://chgis1.mercergov.org/Html5Viewer/Index.html?viewer=PubMaps&viewer=PubMaps>)

Site Description

The subject property is a shoreline tract in a residential neighborhood. It has shoreline on its western boundary with single-family homes to the east and west along the shoreline.

The only existing structures on the property are the house and dock.

The shoreline is armored with a basalt bulkhead with a beach cove. The house was under construction at the time of the visit and an unmaintained lawn with a few planting beds were present up to the edge of the bulkhead. The substrates along the shore are sand with gravel. Eurasian milfoil was present starting about 40 feet from shore.

The neighboring shorelines are landscaped with bulkheads and docks. See attached photos in Appendix B- Photos.

Species Use

WDFW's PHS mapping and SalmonScape mapping tools show the following salmonid species using Lake Washington for migration and/or rearing: residential coastal cutthroat (*Oncorhynchus clarkii*), winter steelhead (*O. mykiss*), Dolly Varden/bull trout (*Salvelinus malma*), sockeye salmon (*O. nerka*), fall Chinook (*O. tshawytscha*), coho salmon (*O. kisutch*), and kokanee (*O. nerka*). The SalmonScape database maps the site as accessible to the Endangered Species Units (ESU) of Threatened Chinook and steelhead. Juveniles migrate and may rear in the waters near the project when traveling from spawning sites on other lake tributaries to the lakes system's outlet at the Hiram M. Chittenden Locks. The project site is accessible to any fish migrating or rearing in the lake. The shoreline is not mapped as a Sockeye spawning location.

Priority Habitats and Species mapping, maps wetlands about 1,300 feet to the south and north of the project along the shoreline.

The City of Mercer Island GIS Portal does not indicate any watercourses at the site. No upland work will be completed on the site except for the planting plan.

Project Impacts and Conservation Measurements

Direct Impacts:

Sediments: Sediment disturbance could occur during pile splicing. Additionally, the tug and barge propwash may disturb sediments temporarily when making trips to and from the site.

Impacts to sediments should be minimal from piling repair. The project will meet state water quality standards.

Shoreline: Planting native vegetation, including a western red cedar, shore pine and shrubs, will increase the habitat functions of the shoreline by creating shade along the shoreline that will be an improvement from the existing baseline habitat conditions at the project site. These plants

will provide overhanging cover for fish, structural diversity for birds and wildlife, detritus for aquatic invertebrates and long-term recruitment of woody material and other allochthonous food sources. The proposed planting plan is included (see Appendix A – Sheet 8.0).

Lakebed: Piling repair will not change lakebed coverage. The platform lift will be free standing.

Noise: Construction equipment will create noise audible to neighbors and in-water. Noise disturbance will be short-term and should have negligible effects on fish and wildlife in the area. Work will be completed during the in-water work window when juvenile fish are not expected to be present in larger numbers.

Potential spills: Short-term risks include the potential for spills that can occur with any equipment operation. The level of impact to the aquatic environment is expected to be minor because a trained crew will be onsite that will implement spill containment measures should a spill occur.

Shading: The proposed dock will increase overwater coverage by 35 square feet. The new platform lift will increase overwater shading at the site by 117 square feet. The proposed decking will be ThruFlow grated decking. Grated decking allows light to penetrate the waters below the dock, which can increase productivity in the water column, and reduce the full shade favored by salmonid predators. Salmonid predators are known to use hard shadowing under solid-decked docks to ambush juvenile salmonids. Reducing these hard shadows limits their ability to effectively hunt salmonids. In addition, hard shadowing may increase juvenile salmonid outmigration times when encountered along the shoreline.

ThruFlow grated decking has a measured performance at 43 percent light penetration (ThruFlow, 2021). Thus, the increase in lighting under the pier is effectively 57% of the area of a solid decked structure. Table 1 provides a summary of effective coverage:

Table 1 – Effective coverage

	Existing/ Proposed	Proposed grated	Conversion	Effective coverage	Reduction in effective coverage
Existing Dock (SF)	592		n/a		
Proposed Dock (SF)		627	0.57	357	270
Platform lift (SF)		117	0.57	67	50
TOTAL (SF)	592	744		424	320

The use of grated decking at the site reduces the effective coverage of the new structure by 320 square feet and reduces the overall effective coverage at the site by 168 square feet over existing.

Recreational Boating: The project supports continued recreational boating, which has been identified as a limiting factor for salmonid populations in Lake Washington. The pier will not

introduce additional boating to Lake Washington, as the owners could still access the lake from a public boat launch or private moorage facility.

Other Conservation measures:

Work window: The work will be completed during the prescribed in-water work window for this area of Lake Washington (July 16 to December 31). Operating within this time frame helps protect Chinook salmon, steelhead, bull trout and other salmonid fish species by doing work when juvenile fish are not expected to be present.

Best Management Practices: Applicable BMPs will be used, such as a floating boom around the in-water work area, to contain any floating debris that may escape during construction. The barge will have a perimeter containment sock to absorb oil and grease that might inadvertently wash from the barge during construction.

Hazardous material containment supplies such as spill absorbent pads and trained personnel will be required onsite during any phase of construction where machinery is in operation near surface waters.

In-lieu Fee: The shoreline on the subject property will be planted with native, overhanging vegetation. The project also requires approval from the National Marine Fisheries Service (NMFS). NMFS has developed a calculator to determine appropriate mitigation costs for proposed in-water structures in Lake Washington. This calculator has established a fund that owners can pay into if they are not willing or cannot find mitigation to offset impacts from the project. The owner is not able to complete the required mitigation at the subject property required by NMFS and the property owners will pay into the in-lieu fee program to mitigate project impacts. An in-lieu fee program is defined as follows:

“A program involving the restoration, establishment, enhancement, and/or preservation of aquatic resources through funds paid to a governmental or non-profit natural resources management entity to satisfy compensatory mitigation requirements... Similar to a mitigation bank, an in-lieu fee program sells compensatory mitigation credits to permittees whose obligation to provide compensatory mitigation is then transferred to the in-lieu program sponsor.” (Fed. Reg. 40 CFR Part 230)

The fee has been determined using the Restoration And Permitting (RAP) Calculator for Lake Washington and will be paid to King County Water & Land Resources Division. This funding has been used to remove 350 derelict piles from the mouth of the Cedar River in Lake Washington.

Conclusion

Juvenile Chinook salmon, and other salmonids, rear and migrate along the Lake Washington shoreline. Lake Washington is a Shoreline of the State.

There will be temporary impacts from noise and disturbed sediments during construction. Increasing overwater coverage by 152 square feet will degrade ecological conditions at the site.

The dock will use grated decking to reduce the effective overwater coverage by 168 square feet over existing. The grating reduces the hard shadows favored by salmonid predators and increases productivity under the pier. Overwater structures may slow juvenile salmonid outmigration times. Using grated decking may reduce the chances of delaying outmigrating juvenile salmonids.

The project will minimize construction effects on the environment by following the prescribed fish window and using applicable BMPs to prevent construction spills, turbidity, and floating debris from escaping the area. The construction crew will retrieve all dropped items from the bottom and dispose of them properly. The effects of construction will be short term.

A shoreline planting plan will be implemented that will add 2 native trees and 3 native shrubs to the shoreline that will provide natural shading, allochthonous food sources and will eventually be a source of woody materials that will improve shoreline conditions at the site in the long-term. The owner has also opted to pay into the In Lieu Fee program that will be used for conservation projects that benefit salmon in King County.

This project has been designed to meet current residential dock standards and will use Best Management Practices to reduce project impacts. The conservation measures are designed to improve ecological functions or prevent further degradation of habitat **and will result in No Net Loss of ecological functions.**

Document Preparers

Brad Thiele

Biologist

29 years of experience

Northwest Environmental
Consulting, LLC (NVEC)

The conclusions and findings in this report are based on field observations and measurements and represent our best professional judgment and to some extent rely on other professional service firms and available site information. Within the limitations of project scope, budget, and seasonal variations, we believe the information provided herein is accurate and true to the best of our knowledge. Northwest Environmental Consulting does not warrant any assumptions or conclusions not expressly made in this report, or based on information or analyses other than what is included herein.

REFERENCES

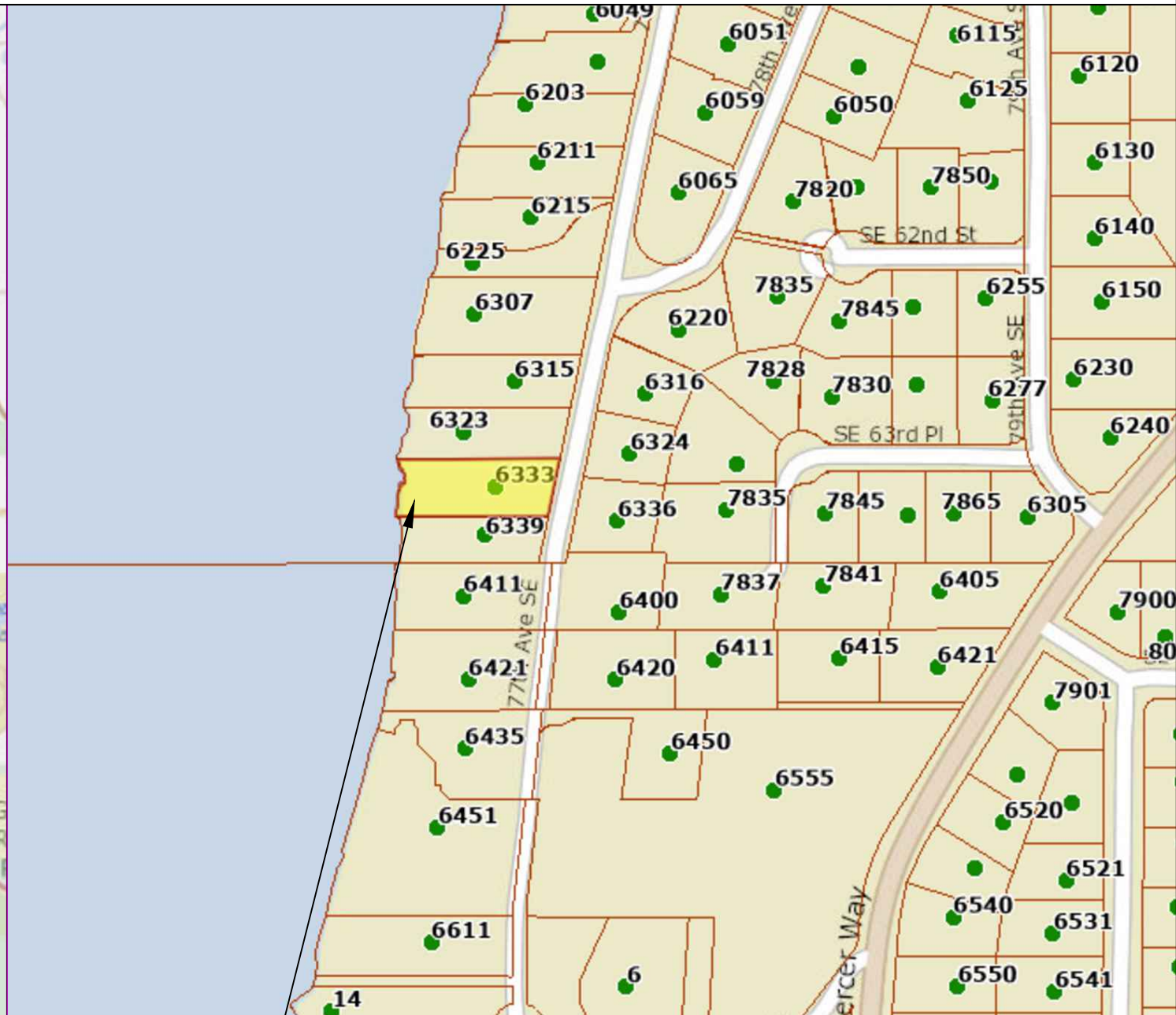
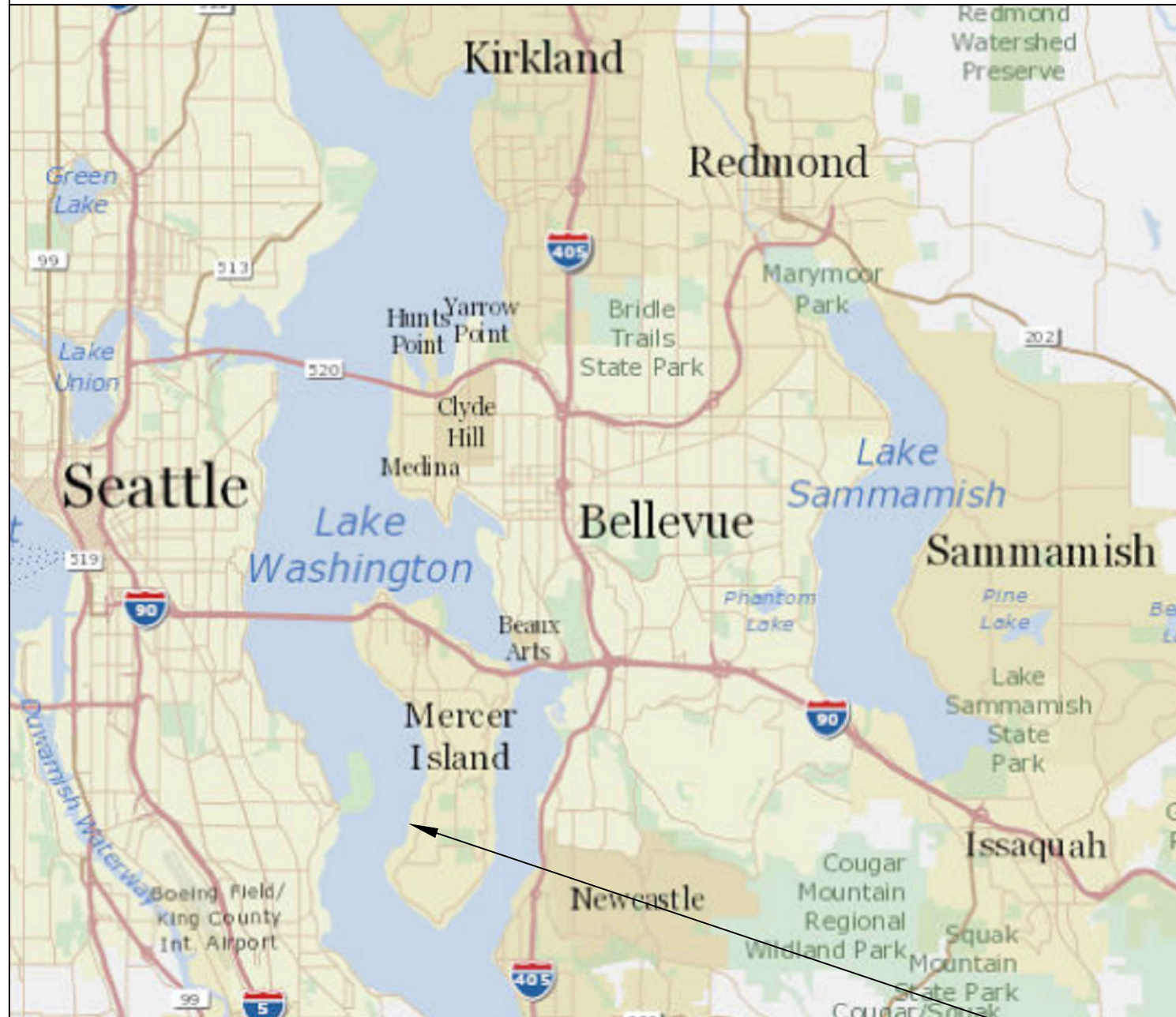
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WDFW. 2023. SalmonScape. Online database. Accessed October 2023 at <http://apps.wdfw.wa.gov/salmonscape/>

Appendix A: Project Drawings

SITE PLAN



**SUBJECT
PROPERTY**

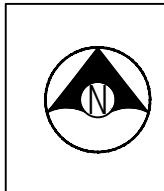
Pin: 409710-0010

Legal Description: LAKE VIEW HIGHLANDS WATERFRONT TR N 8.21 FT OF 1 ALL 2 & SH LDS ADJ

Plat Block:
Plat Lot: 1-2

PARCEL
LAT: 47.54595
LONG: -122.23632

DOCK
LAT: 47.54604444
LONG: -122.23680000



Seaborn Pile Driving
1080 W Ewing St
Seattle, WA 98119

Office: 206-236-1700 ext. 3
www.seabornpiledriving.com

Scope of Work: We propose to repair (11) existing piles, repair (1) existing brace pile, repair the existing dock, and install a platform lift.

County: King County
Location: Lake Washington

Applicant: Wellmon Residence
6333 77TH AVE SE
MERCER ISLAND, WA 98040

Datum: CORPS OF ENGINEERS 1919
SE Quarter Of Section 24, Township 24, Range 04

Adjacent Owners:
DEMOPULOS PETER A+DIANE K
6333 77TH AVE SE 98040

**SHEET
1.0**

NWS-2022-XXX
PAGE 1 OF 12

Last Updated: 10/2/2023 9:43 AM Shop

Created: 08/24/23

GENERAL NOTES:

CODE REFERENCES: Mercer Island

For our proposed platform lift we are applying for the permit to be reviewed under the:

“Development Standards for New and Expanded Moorage Facilities” per MIMC 19.13050(F)(1).

F. Moorage Facilities. All permits for new and expanded moorage facility, other than public access piers or boardwalks, shall meet the following standards unless otherwise exempted. Moorage facilities have the option of meeting either the development standards prescribed in subsection (F)(1) or (F)(2) of this section, or the “alternative development standards” in subsection (F)(3) of this section.

1. Development Standards for New and Expanded Moorage Facilities. A proposed moorage facility shall be presumed to not create a net loss of ecological functions pursuant to subsection (B)(2) of this section if:

- i. The surface coverage area of the moorage facility is:
 - a. Four hundred eighty square feet or less for a single property owner;
 - b. Seven hundred square feet or less for two residential property owners (residential); or
 - c. One thousand square feet or less for three or more residential property owners;
- ii. Piers, docks, and platform lifts must be fully grated with materials that allow a minimum of 40 percent light transmittance;
- iii. Vegetation. The code official approves a vegetation plan that conforms to the following:

Ch. 19.13 Shoreline Master Program | Mercer Island City Code Page 27 of 34

The Mercer Island City Code is current through Ordinance 20C-13, passed June 16, 2020.

Vegetation must be planted as provided in Figure C and as follows: Within the 25-foot shoreline setback, a 20-foot vegetation area shall be established, measured landward from the OHWM. Twenty-five percent of the area shall contain vegetation coverage. The five feet nearest the OHWM shall contain at least 25 percent native vegetation coverage. A shoreline vegetation plan shall be submitted to the city for approval. The vegetation coverage shall consist of a variety of ground cover shrubs and trees, excluding nonnative grasses. No plants on the current King County noxious weed lists shall be planted within the shorelands. Figure C: Vegetation Plan

iv. Only docks, ramps, and boatlifts may be within the first 30 feet from the OHWM. No skirting is allowed on any structure;

v. The height above the OHWM for docks shall be a minimum of one and one-half feet and a maximum of five feet;

vi. The first in-water (nearest the OHWM) set of pilings shall be steel, 10 inches in diameter or less, and at least 18 feet from the OHWM. Piling sets beyond the first shall also be spaced at least 18 feet apart and shall not be greater than 12 inches in diameter. Piles shall not be treated with pentachlorophenol, creosote, CCA or comparably toxic compounds. If ammoniacal copper zinc arsenate (ACZA) pilings are proposed, the applicant shall meet all of the best management practices, including a post-treatment procedure, as outlined in the amended Best Management Practices of the Western Wood Preservers. All piling sizes are in nominal diameter;

vii. Any paint, stain or preservative applied to components of the dock must be leach resistant, completely dried or cured prior to installation. Materials shall not be treated with pentochlorophenol, creosote, CCA or comparably toxic compounds; Ch. 19.13 Shoreline Master Program | Mercer Island City Code Page 28 of 34 The Mercer Island City Code is current through Ordinance 20C-13, passed June 16, 2020.

viii. No more than two mooring piles shall be installed per structure. Joint-use structures may have up to four mooring piles. The limits include existing mooring piles. Moorage piling shall not be installed within 30 feet of the OHWM. These piles shall be as far offshore as possible;

ix. The applicant shall abide by the work windows for listed species established by the U.S. Army Corps of Engineers and Washington Fish and Wildlife; and

x. Disturbance of bank vegetation shall be limited to the minimum amount necessary to accomplish the project. Disturbed bank vegetation shall be replaced with native, locally adapted herbaceous and/or woody vegetation. Herbaceous plantings shall occur within 48 hours of the completion of construction. Woody vegetation components shall be planted in the fall or early winter, whichever occurs first. The applicant shall take appropriate measures to ensure revegetation success.

CODE REFERENCES: Mercer Island

For the repair work we are applying for the permit to be reviewed under the:

“Development Standards for Replacement, Repair and Maintenance of Overwater Structures, Including Moorage Facilities” per MIMC 19.13050(F)(2).

2. Development Standards for Replacement, Repair and Maintenance of Overwater Structures, Including Moorage Facilities. The maintenance, repair and complete replacement of legally existing overwater structures is permitted; provided, that:

- i. All permit requirements of federal and state agencies are met;
- ii. The area, width, or length of the structure is not increased, but may be decreased;
- iii. The height of any structure is not increased, but may be decreased; provided, that the height above the OHWM may be increased as provided in subsection (F)(2)(ix)(b) of this section;

iv. The location of any structure is not changed unless the applicant demonstrates to the director’s satisfaction that the proposed change in location results in: (A) a net gain in ecological function, and (B) a higher degree of conformity with the location standards for a new overwater structure;

v. Piles shall not be treated with pentachlorophenol, creosote, CCA or comparably toxic compounds. If ammoniacal copper zinc arsenate (ACZA) pilings are proposed, the applicant shall meet all of the best management practices, including a post-treatment procedure, as outlined in the amended Best Management Practices of the Western Wood Preservers. All piling sizes are in nominal diameter;

vi. Any paint, stain or preservative applied to components of the overwater structure must be leach resistant, completely dried or cured prior to installation. Materials shall not be treated with pentochlorophenol, creosote, CCA or comparably toxic compounds;

vii. The applicant shall abide by the work windows for listed species established by the U.S. Army Corps of Engineers and Washington Fish and Wildlife;

viii. Disturbance of bank vegetation shall be limited to the minimum amount necessary to accomplish the project. Disturbed bank vegetation shall be replaced with native, locally adapted herbaceous and/or woody vegetation. Herbaceous plantings shall occur within 48 hours of the completion of construction. Woody vegetation components shall be planted in the fall or early winter, whichever occurs first. The applicant shall take appropriate measures to ensure revegetation success; Ch. 19.13 Shoreline Master Program | Mercer Island City Code Page 29 of 34 The Mercer Island City Code is current through Ordinance 20C-13, passed June 16, 2020.

ix. Structural Repair. The structural repair, which may include replacement of framing elements, of moorage facilities that results in the repair of more than 50 percent of the structure’s framing elements within a five-year period shall comply with subsections (F)(2)(ix)(a) through (F)(2)(ix)(c) of this section. For this section, framing elements include, but are not limited to, stringers, piles, pile caps, and attachment brackets, as shown in Figure D:

- a. One hundred percent of the decking area of the pier, dock, and any platform lifts must be fully grated with materials that allow a minimum of 40 percent light transmittance;
- b. The height above the OHWM for moorage facilities, except floats, shall be a minimum of one and one-half feet and a maximum of five feet; and
- c. An existing moorage facility that is five feet wide or more within 30 feet waterward from the OHWM shall be replaced or repaired with a moorage face

Last permit issued for property: E05-06120 Electrical Permit: 12/21/2005

Dock established/constructed: 88-718 11/16/1988

County: King County
Location: Lake Washington

Applicant: Wellmon Residence
6333 77TH AVE SE
MERCER ISLAND, WA 98040

Datum: CORPS OF ENGINEERS 1919
SE Quarter Of Section 24, Township 24, Range 04

Adjacent Owners:
DEMOPULOS PETER A+DIANE K
6339 77TH AVE SE 98040

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Seaborn Pile Driving
1080 W Ewing St
Seattle, WA 98119

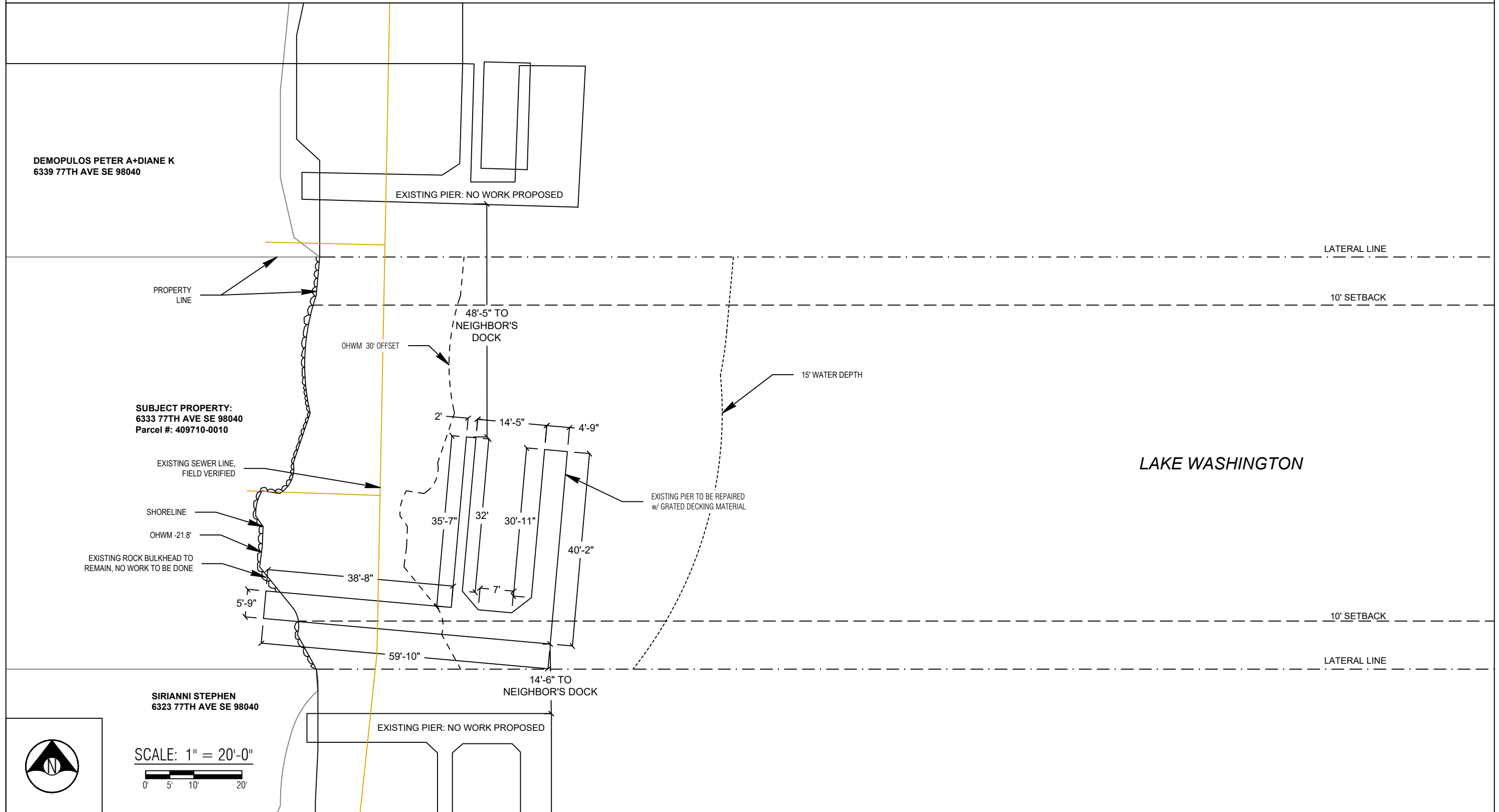
Office: 206-236-1700 ext. 3
www.seabornpiledriving.com

Scope of Work: We propose to repair (11) existing piles, repair (1) existing brace pile, repair the existing dock, and install a platform lift.

**SHEET
2.0**

EXISTING CONDITIONS

****CLEAN UP LAKE AROUND PROJECT****



County: King County
 Location: Lake Washington
 Applicant: Wellmon Residence
 6333 77TH AVE SE
 MERCER ISLAND, WA 98040
 Datum: CORPS OF ENGINEERS 1919
 SE Quarter Of Section 24, Township 24, Range 04
 Adjacent Owners:
 SIRIANNI STEPHEN
 6323 77TH AVE SE 98040
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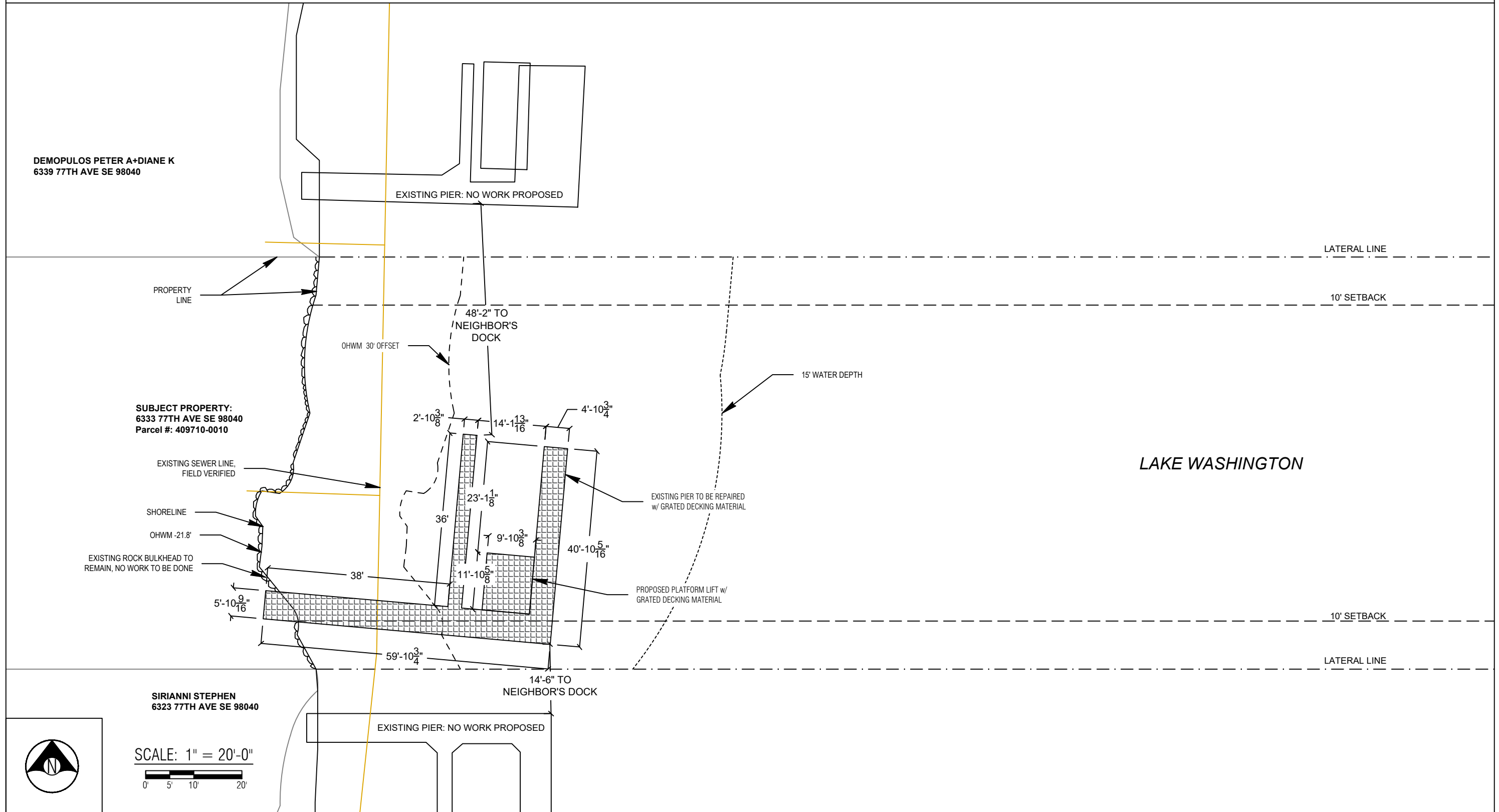
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SHEET 3.0

PROPOSED CONDITIONS

****CLEAN UP LAKE AROUND PROJECT****



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 Location: Lake Washington
 Applicant: Wellmon Residence
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SCALE: 1" = 20'-0"
 0' 5' 10' 20'



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**SHEET
4.0**

PIER DETAILS - PROPOSED PLAN VIEW

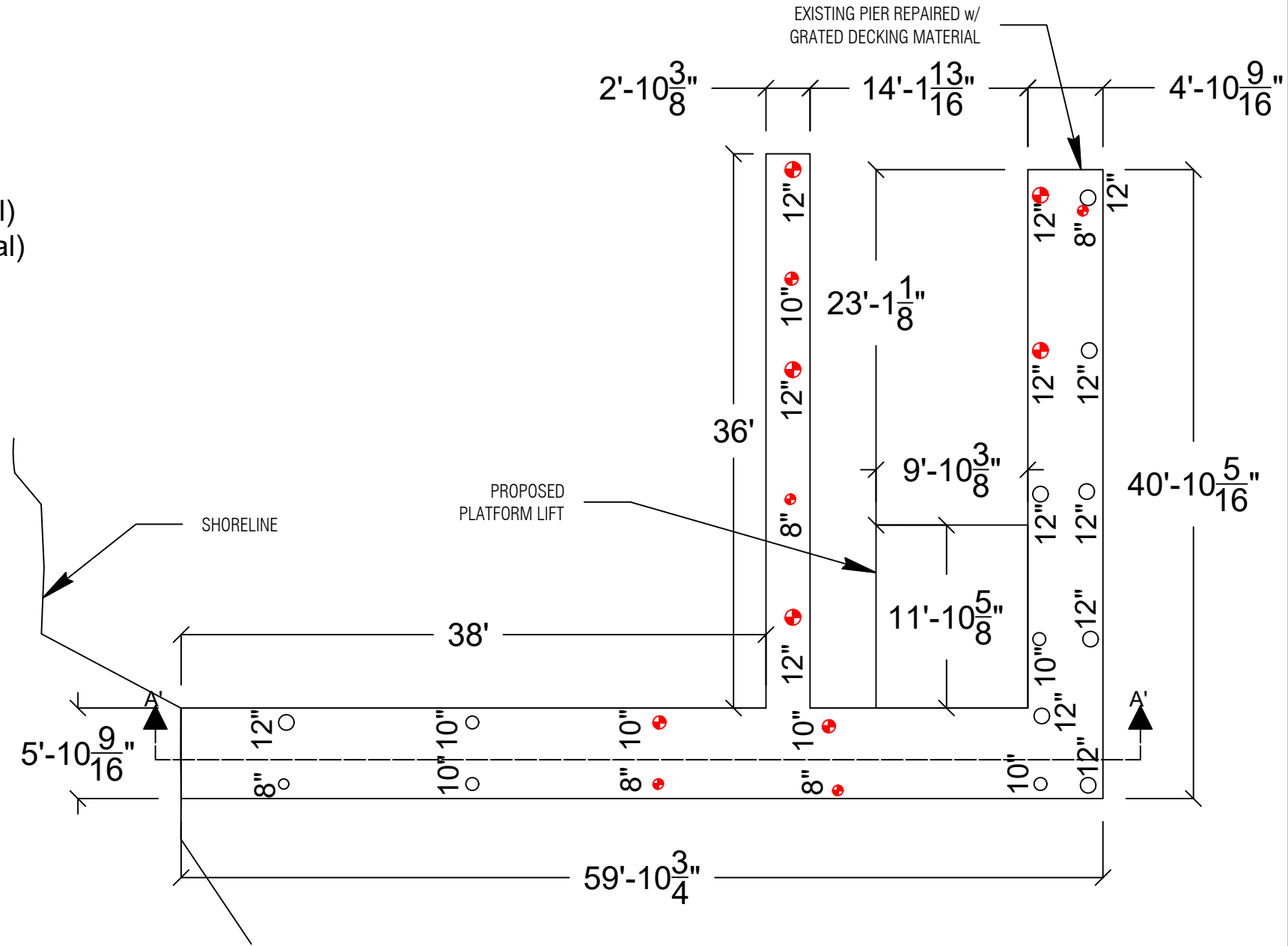
LEGEND

- ⊕ (11) EXISTING PILES - TO BE REPAIRED
- ⊕ (1) EXISTING BRACE PILE - TO BE REPAIRED
- (13) EXISTING PILES - NO WORK TO BE DONE

Existing Pier Total: 592 sqft (to be repaired with grated decking material)
 Existing Overwater: 592 sqft (to be repaired with grated decking material)

Proposed Platform Lift: 117 sqft (grated decking material)
 New Pier Total: 627 sqft (grated decking material)
 New Overwater Total: 744 sqft (grated decking material)

**Grated decking is 43% light permeable



PLAN VIEW



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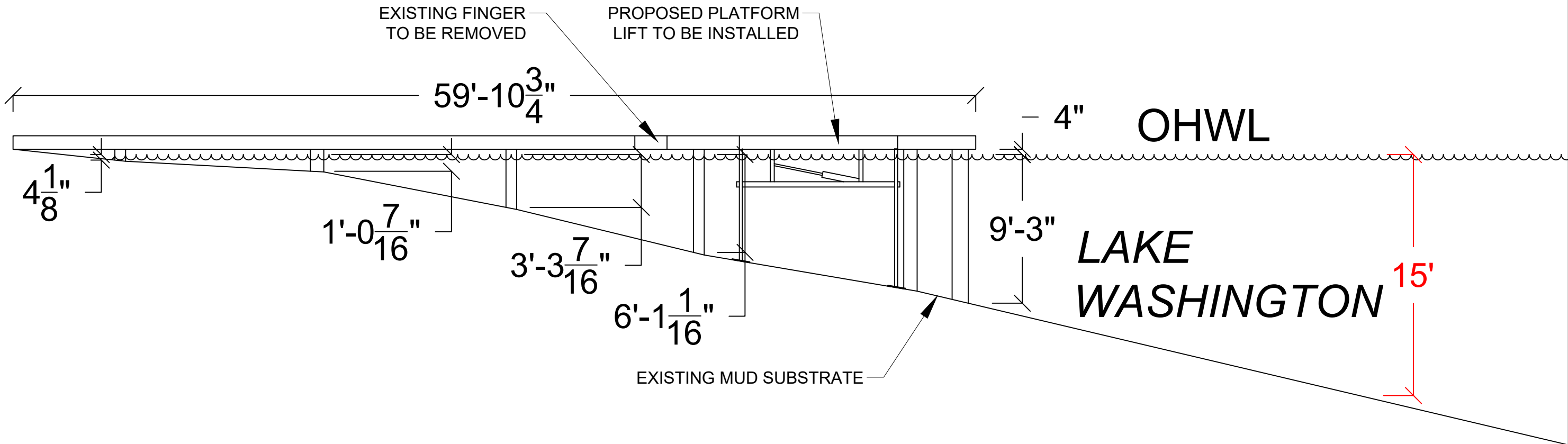
County: King County
 Location: Lake Washington

Applicant: Wellmon Residence
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 MERCER ISLAND, WA 98040

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 6339 77TH AVE SE 98040
 SIRIANNI STEPHEN
 6323 77TH AVE SE 98040

SHEET
5.0

PIER DETAILS EXISTING/PROPOSED - SECTION VIEW



SECTION VIEW: A'-A'



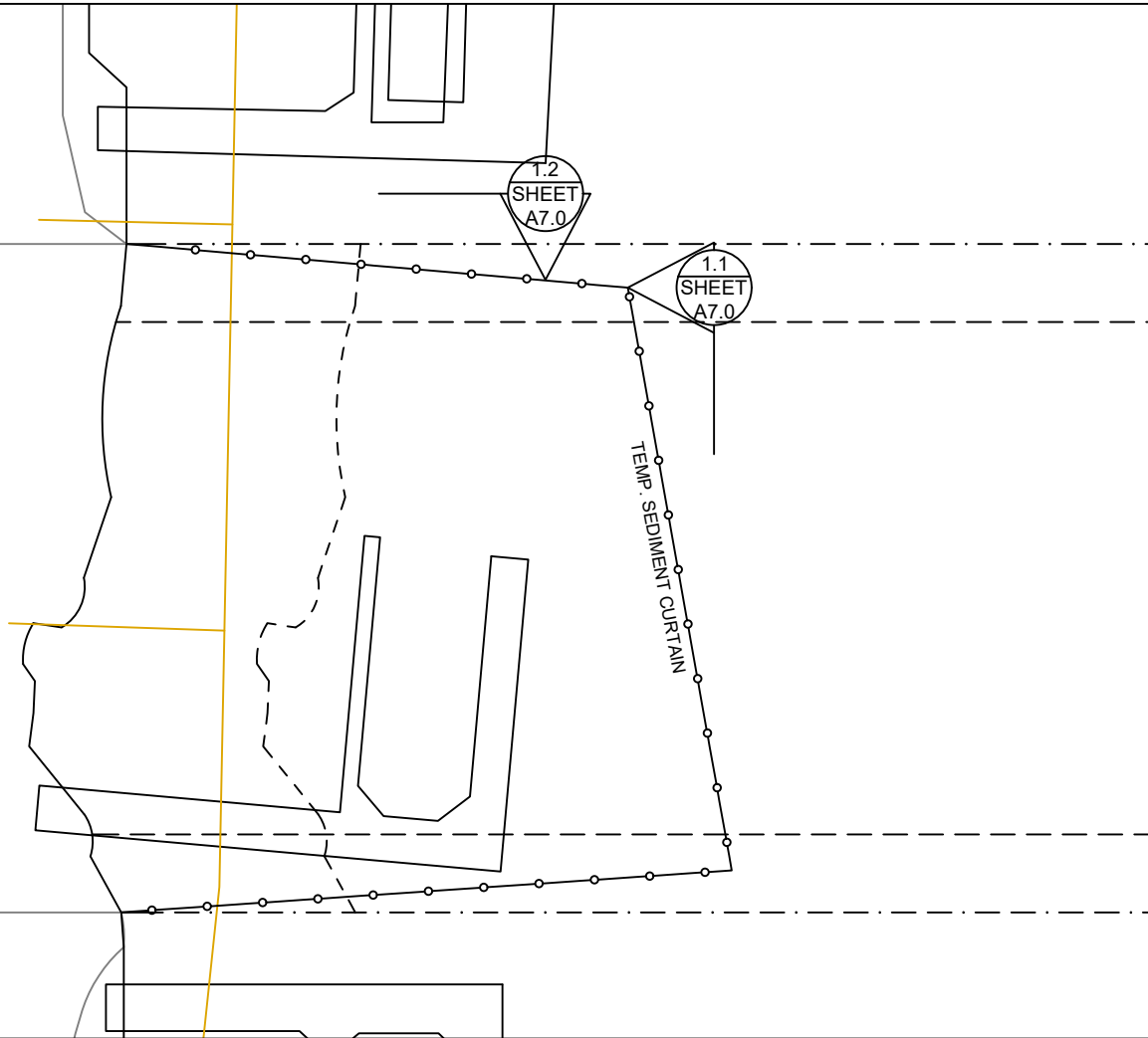
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6.0

BMP INFORMATION

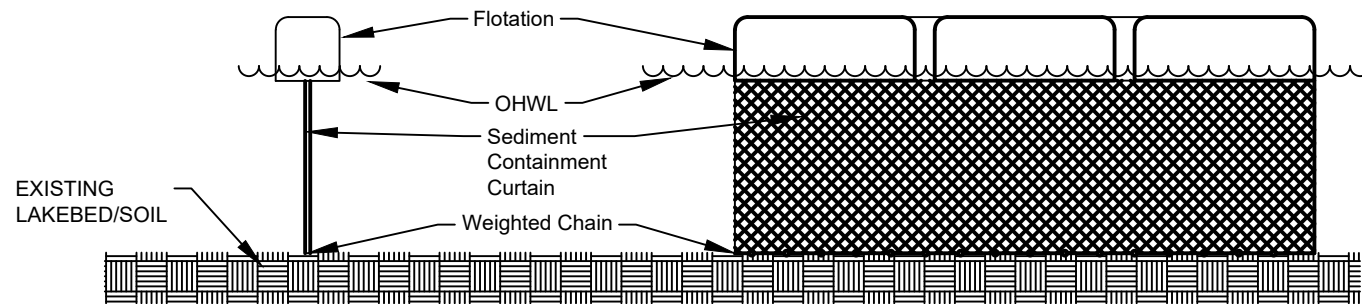


BMP NOTES:

- A. Constant vigilance shall be kept for the presence of protected fish species during all aspects of the proposed action, particularly during in-water activities such as vessel movement, deployment of anchors & spuds, pile driving, dredging, and placement of gravels and other fill.
 1. The project manager shall designate an appropriate number of competent observers to survey the project site and adjacent areas for protected species, including the presence of fish as conditions allow.
 2. Visual surveys shall be made prior to the start of work each day, and prior to resumption of work following any break of more than an hour. Periodic additional visual surveys throughout the work day are strongly recommended.
 3. All in-water work shall be done during the in-water work window for the waterbody. Where there is a difference between the USCOE and WDFW work windows, the overlap of the two shall apply.
 4. All pile driving and extraction shall be postponed or halted when obvious aggregations or schooling of fish are observed within 50 yards of that work, and shall only begin/resume after the animals have voluntarily departed the area.
 5. When piloting vessels, vessel operators shall operate at speeds and power settings to avoid grounding vessels, and minimize substrate scour and mobilization of bottom sediments.
- B. No contamination of the marine environment shall result from project-related activities.
 1. Appropriate materials to contain and clean potential spills shall be stored and readily available at the work site and/or aboard project-related vessels.
 2. The project manager and heavy equipment operators shall perform daily pre-work equipment inspections for cleanliness and leaks. All heavy equipment operations shall be postponed or halted should a leak be detected, and shall not proceed until the leak is repaired and the equipment is cleaned.
 3. To the greatest extent practicable, utilize biodegradable oils for equipment that would be operated in or near water.
 4. Fueling of land-based vehicles and equipment shall take place at least 50 feet away from the water, preferably over an impervious surface. Fueling of vessels shall be done at approved fueling facilities.
 5. Turbidity and siltation from project-related work shall be minimized and contained through the appropriate use of erosion control practices, effective silt containment devices, and the curtailment of work during adverse weather and tidal/flow conditions.
 6. All wastes shall be collected and contained for proper disposal at approved upland disposal sites appropriate for the material(s).
 7. When removing piles and other similarly treated wood, containment curtain must fully enclose the work area. Wood debris, oils, and any other materials released into lake waters must be collected, removed, and properly disposed of at approved disposal sites.
 8. All in- and over-water wood cutting would be limited to the minimum required to remove the subject wood component, and all cutting work should be enclosed within floating containment curtain.
 9. When removing piles, no actions shall be taken that would cause adhering sediments to return to lake waters.
 10. Above-water containment shall be installed around removed piles to prevent sediment laden waters from returning to lake waters.
 11. Construction staging (including stocking of materials, etc.) will occur on the supply barge.
 12. All Exposed wood to be used on the project will be treated with a cheminite treatment.

DETAIL 1.1

DETAIL 1.2



DETAIL 1.1 & 1.2



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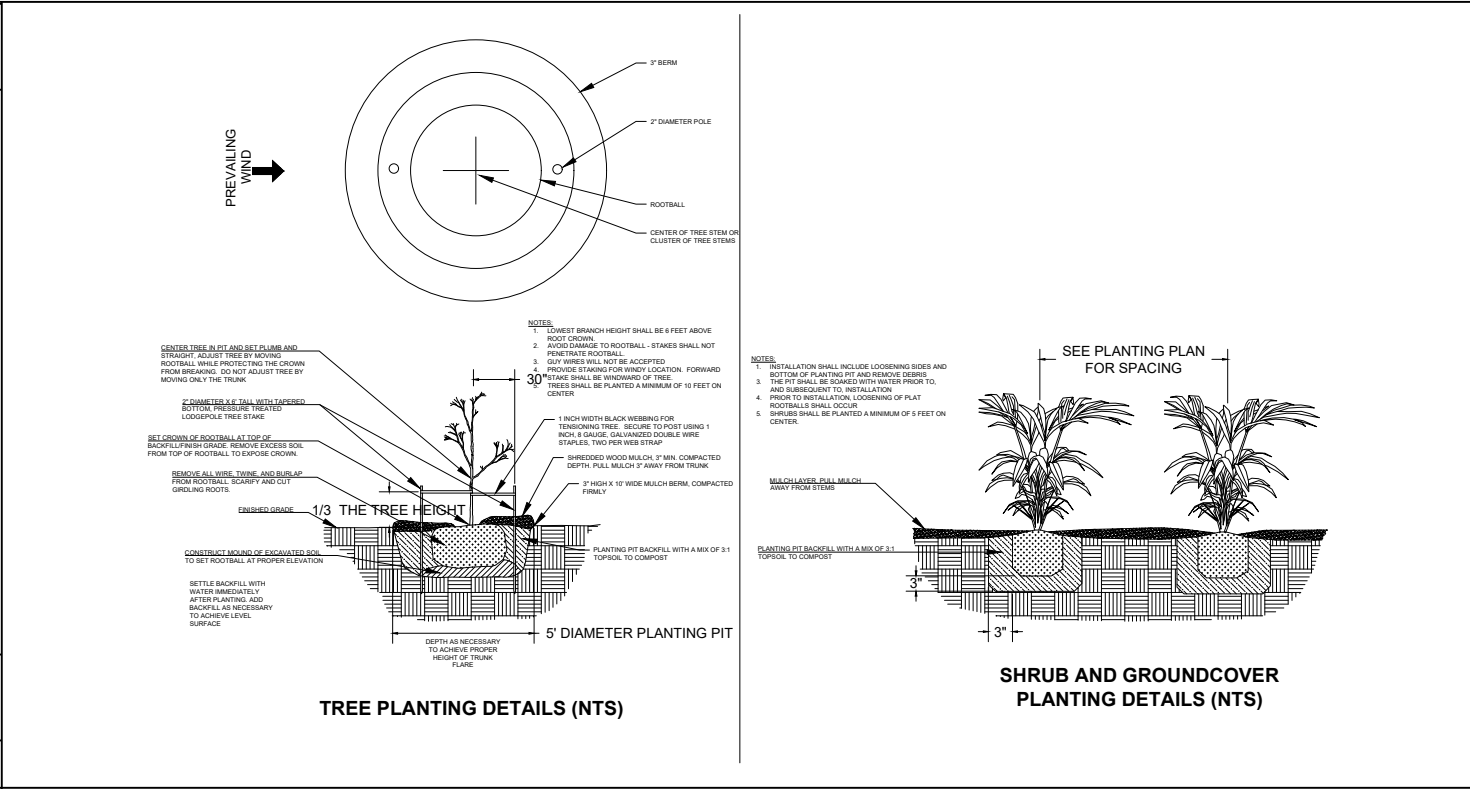
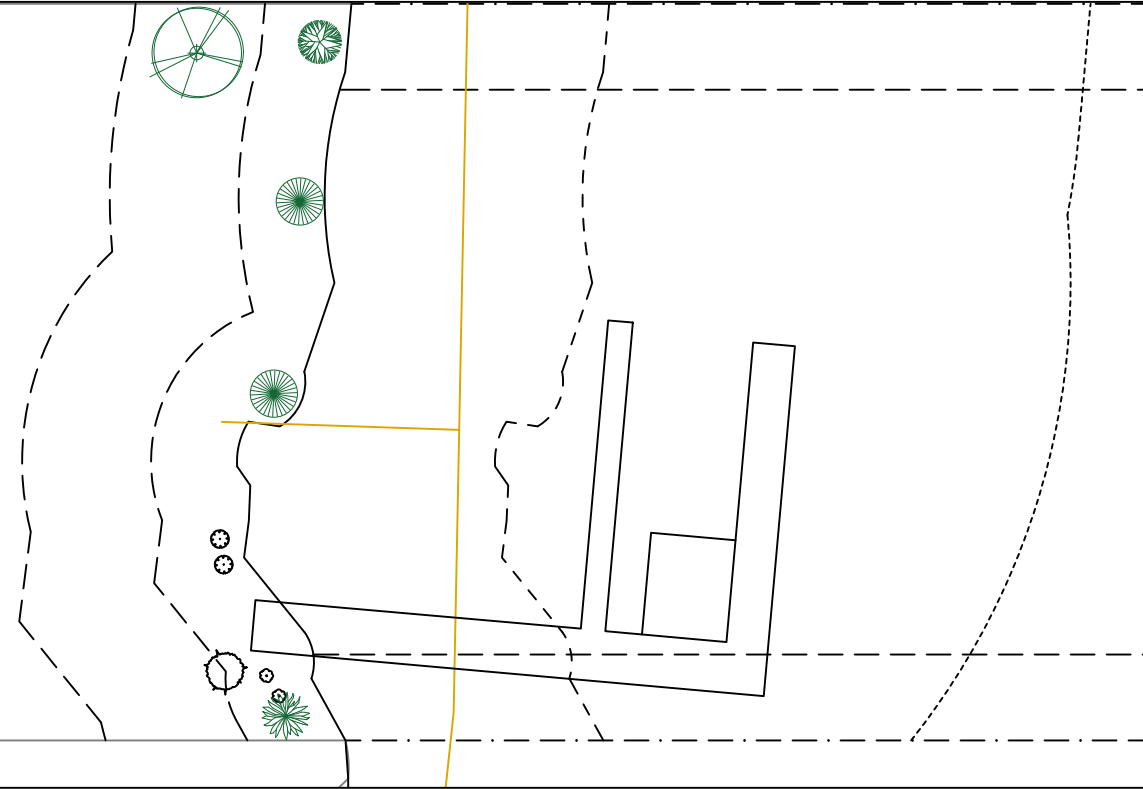
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PAGE 7 OF 12

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Created: 08/24/23

MITIGATION PLAN



Notes:

1. Shrubs are show, and shall be planted, at least five feet on center. Trees are show, and shall be planted, at least ten feet to center.
2. The property owner will implement and abide by the shoreline planting plan. The plants shall be installed before or concurrent with the work authorized by this permit. A report, as-built drawing and photographs demonstrating the plants have been installed or a report on the status of project construction will be submitted to the U.S. Army Corps of Engineers, Seattle District, Regulatory Branch, within 12 months from the date of permit issuance. This reporting requirement may be met by completing and submitting a U.S. Army Corps of Engineers approved Report for Mitigation Work Completion form.
3. The property owner will maintain and monitor the survival of installed shoreline plantings for five years after the U.S. Army Corps of Engineers accepts the as-built report. Installed plants shall achieve 100% survival during monitoring Years 1 and 2. Installed plants shall achieve at least 80% survival during monitoring Years 3, 4 and 5. Percent survival is based on the total number of plants installed in accordance with the approved riparian planting plan. Individual plants that die will be replaced with native riparian species in order to meet the survival performance standards.
4. The property owner will provide annual monitoring reports for five years (Monitoring Years 1-5). Each annual monitoring report will include written and photographic documentation on plant mortality and replanting efforts and will document whether the performance standards are being met. Photos will be taken from established points and used repeatedly for each monitoring year. In addition to photos at designated points, photo documentation will include a panoramic view of the entire planting area. Submitted photos will be formatted on standard 8 1/2 x 11" paper, dated with the date the photo was taken, and clearly labeled with the direction from which the photo was taken. The photo location points will be identified on an appropriate drawing. Annual shoreline planting monitoring reports will be submitted to the U.S. Army Corps of Engineers, Seattle District, Regulatory Branch, by November 31 of each monitoring year. This reporting requirement may be met by completing and submitting a U.S. Army Corps of Engineers approved Mitigation Planting Monitoring Report form.

PROPOSED PLANTING SPECIES/QUANTITIES

SYMBOL	LATIN NAME	COMMON NAME	QTY	SIZE
	<i>Thuja plicata</i>	Western Red Cedar	1	3 ft
	<i>Pinus contorta v contorta</i>	Shore pine	1	3 ft
	<i>Rosa nutkana</i>	Nootka Rose	1	1 Gallon
	<i>Philadelphus lewisii</i>	Mock Orange	2	1 Gallon

PLANTS: Shrubs to be installed 5ft on center and trees to be installed 10ft on center. All proposed existing plants for credit have been established for 5 years or more on the property.

County: King County
Location: Lake Washington

Applicant: Wellmon Residence
6333 77TH AVE SE
MERCER ISLAND, WA 98040

Datum: CORPS OF ENGINEERS 1919
SE Quarter Of Section 24, Township 24, Range 04

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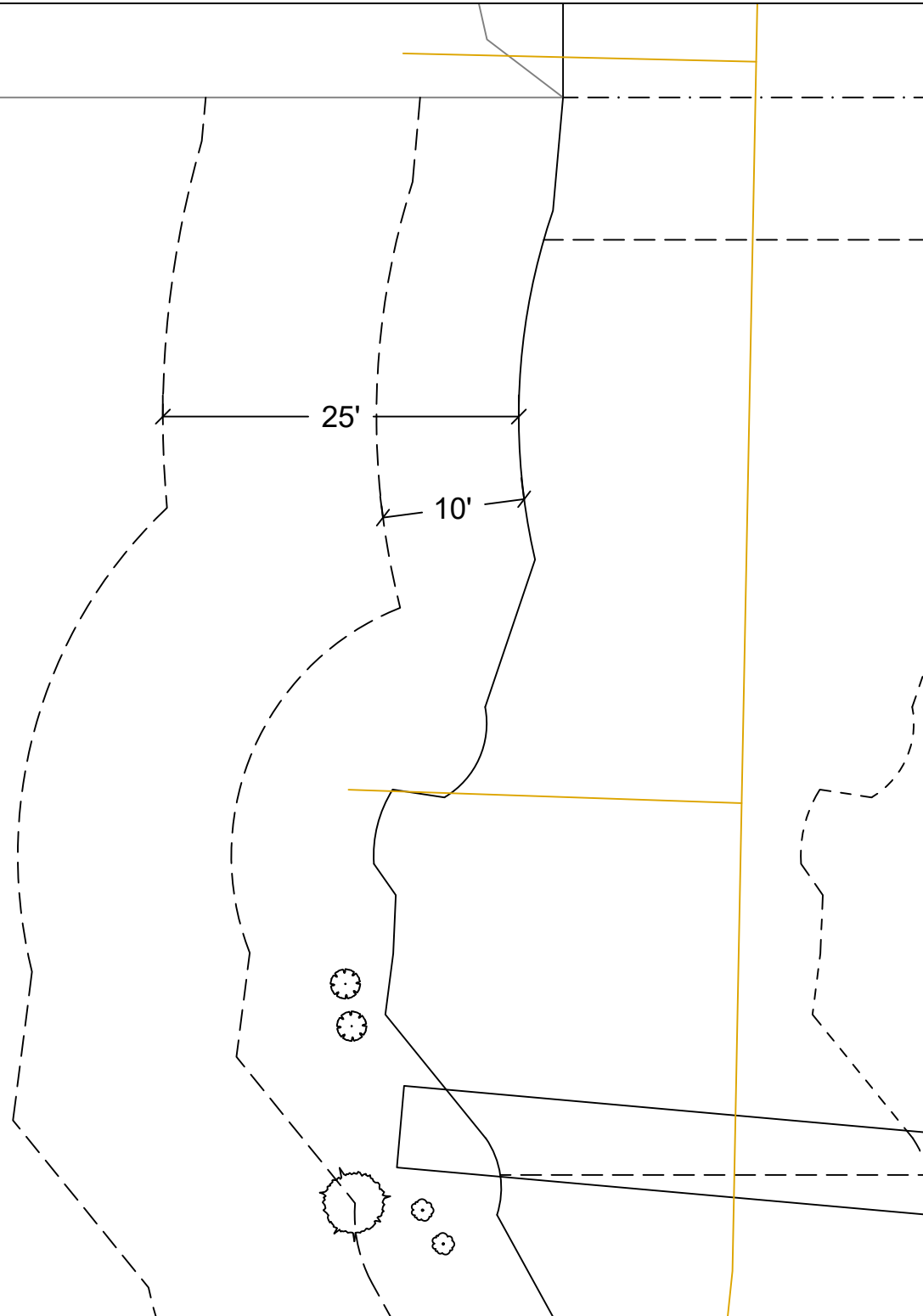


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Scope of Work: We propose to repair (11) existing piles, repair (1) existing brace pile, repair the existing dock, and install a platform lift.

EXISTING PLANT PLAN



EXISTING PLANTING SPECIES/QUANTITIES

SYMBOL	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE
	<i>Pyrus communis</i>	Common Pear	1	~5'
	<i>Sonchus oleraceus</i>	Common Sowthistle	2	~2ft
	<i>Leucanthemum maximum</i>	Shasta Daisy	2	~ 2ft

PLAN VIEW

EXISTING PLANTS TABLE



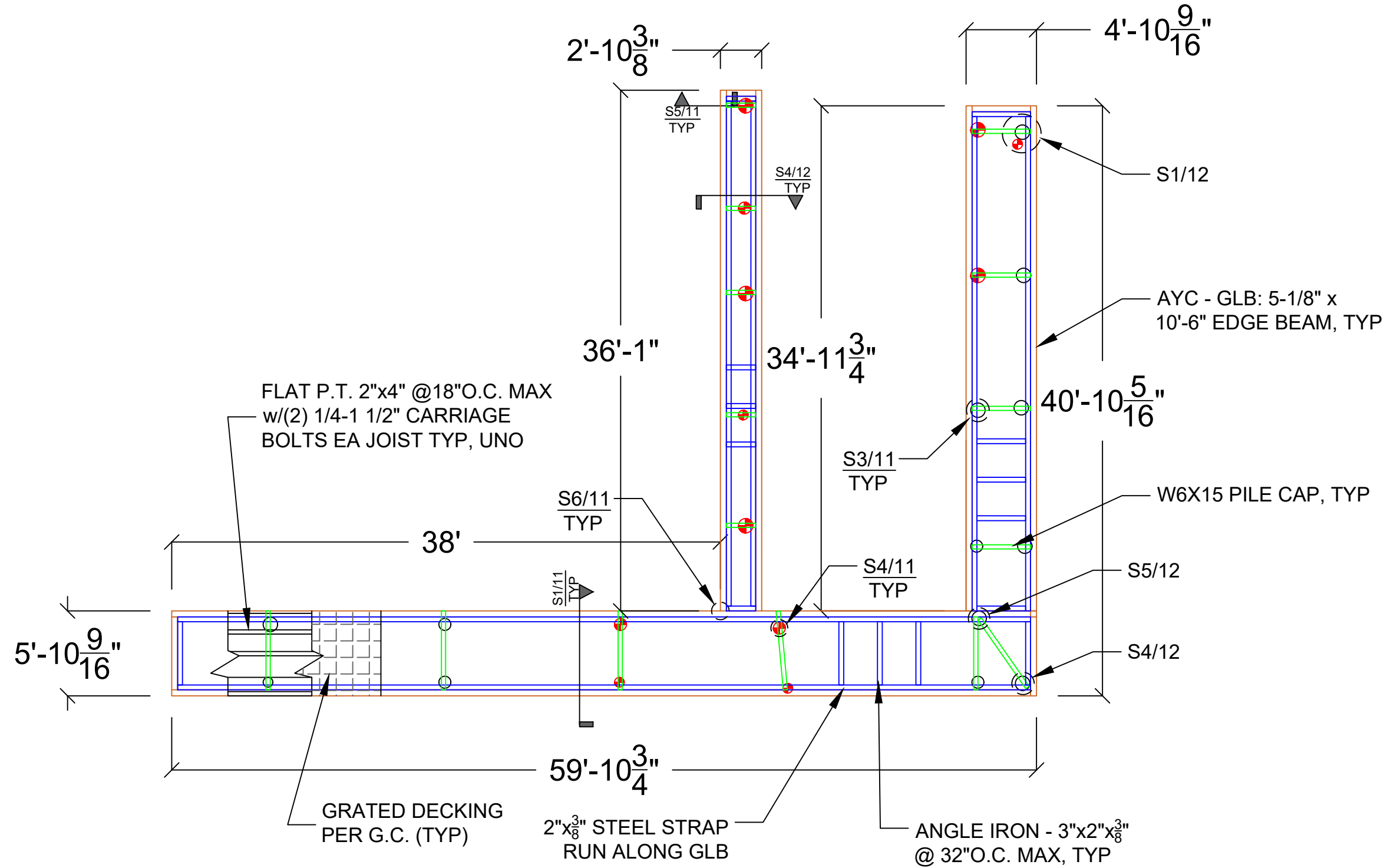
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SHEET
9.0

FRAMING PLAN



Datum: CORPS OF ENGINEERS 1919
 SE Quarter Of Section 24, Township 24, Range 04
 County: King County
 Location: Lake Washington
 Applicant: Wellmon Residence
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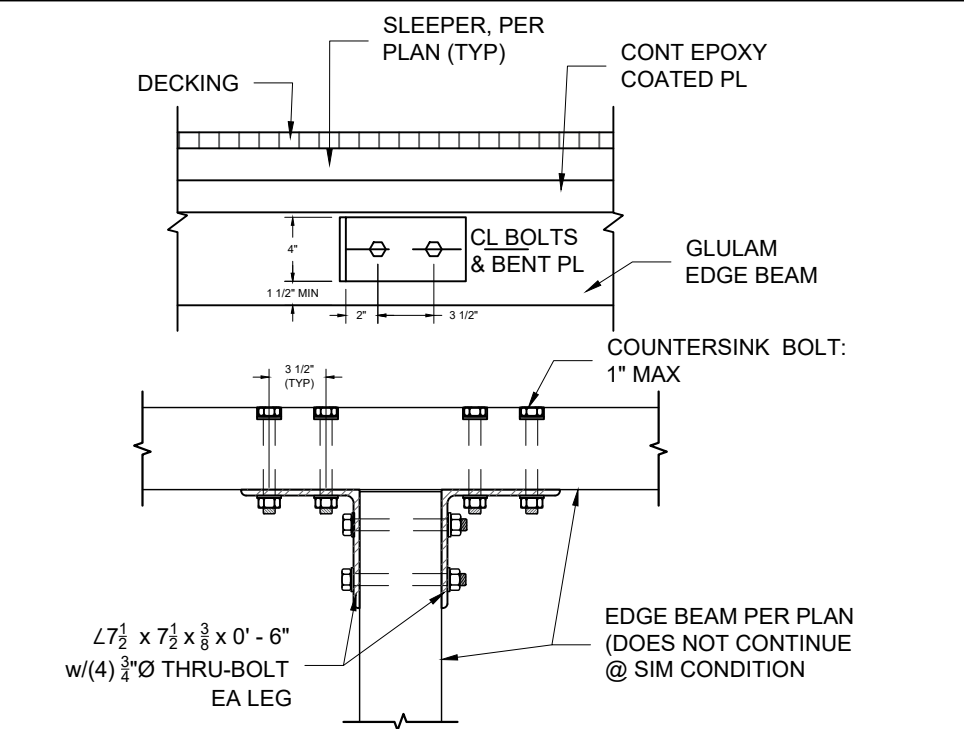
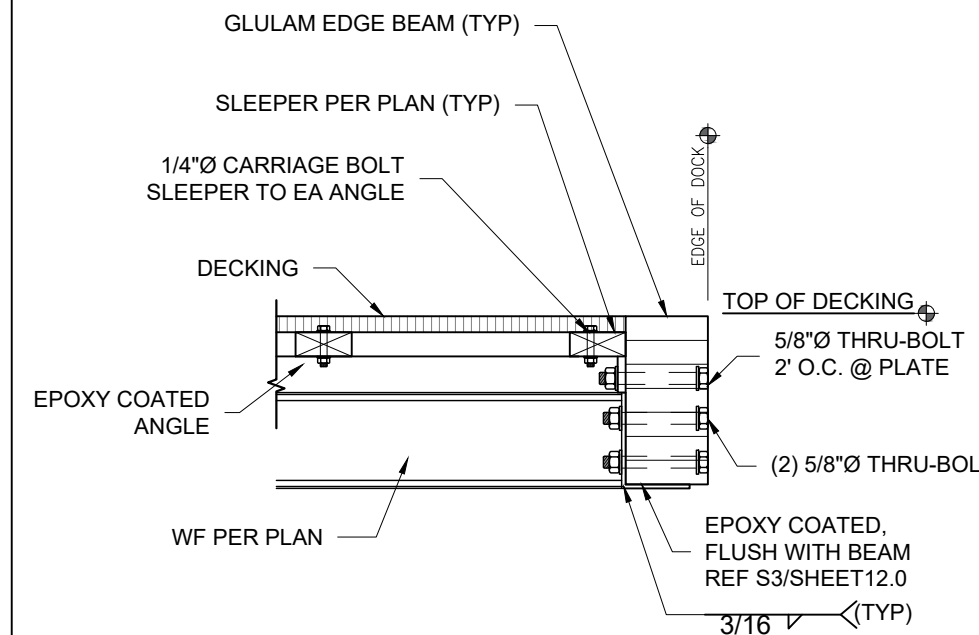
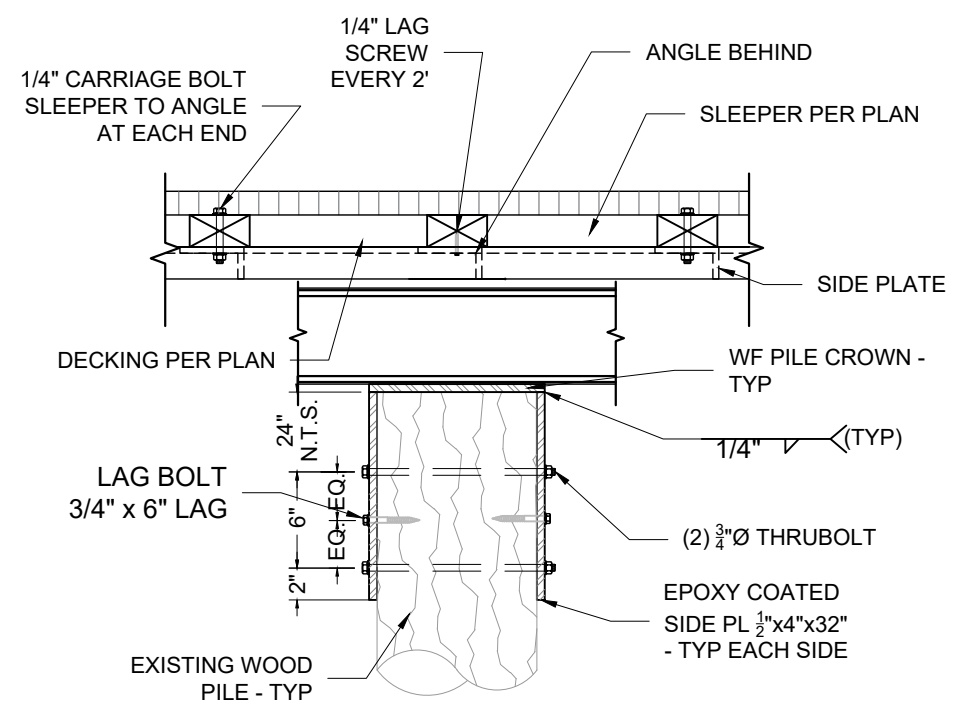
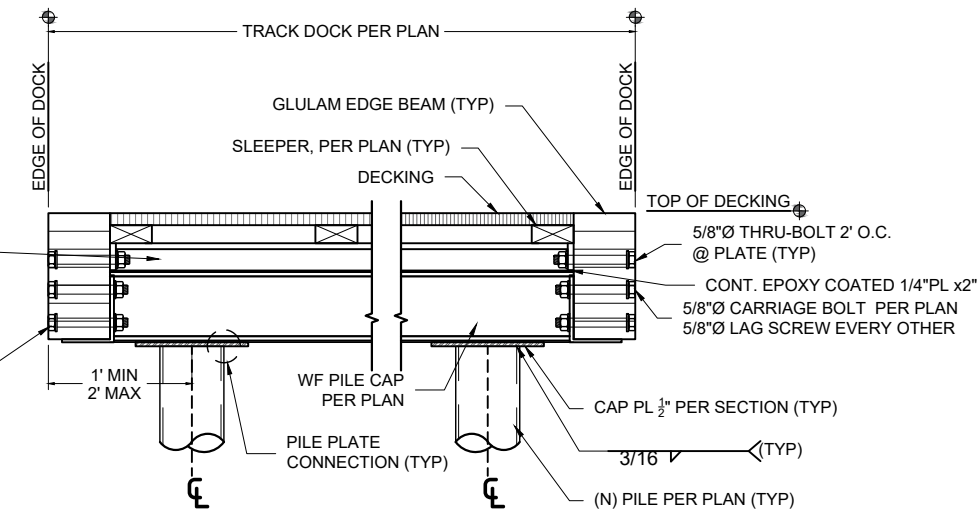
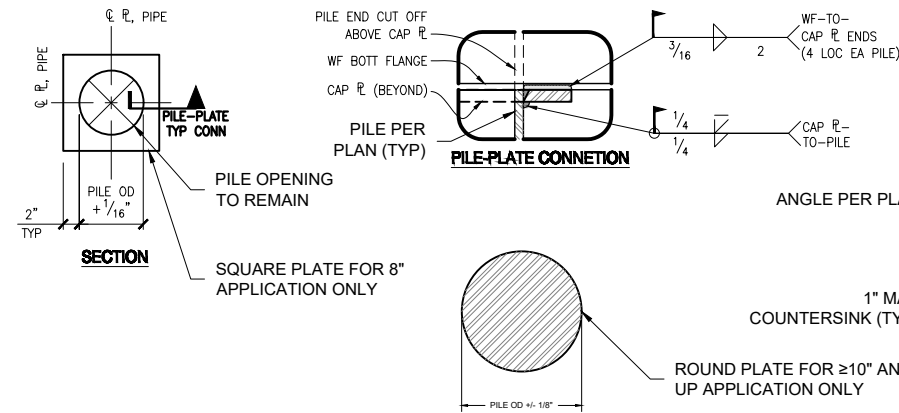


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SHEET 10.0

DETAILS - TRACK



S1 DOCK SECTION w/PILES - TYP
SCALE: 1" = 1'

S3 I-BEAM CAP TO WOOD PILE - TYP
SCALE: 1" = 1'

S4 SLEEVE PILE REPAIR
SCALE: 1/2" = 1'

S5 EDGE SECTION (STEEL TRACK) - TYP
SCALE: 1" = 1'

S6 BEAM TO BEAM - TYP
SCALE: 1" = 1'



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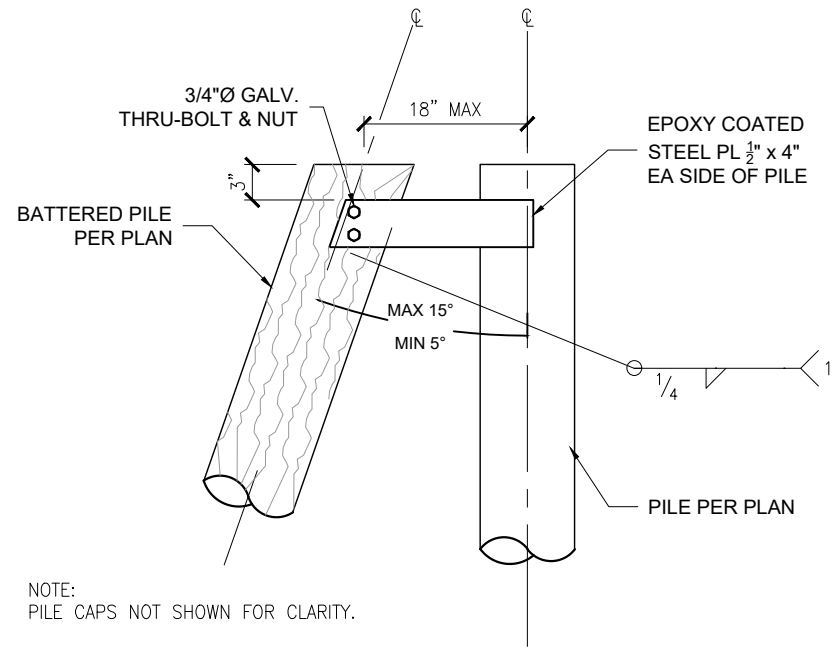
County: King County
Location: Lake Washington

Applicant: Wellmon Residence
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MERCER ISLAND, WA 98040

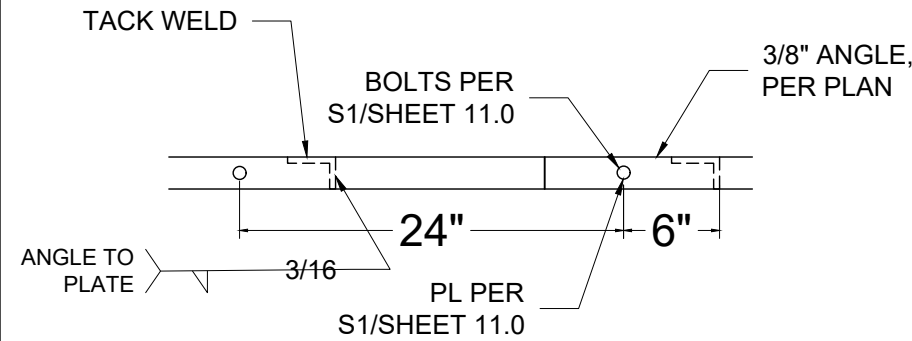
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SE Quarter Of Section 24, Township 24, Range 04
Adjacent Owners:
DEMOPULOS PETER A+DIANE K
6339 77TH AVE SE 98040

SHEET
11.0

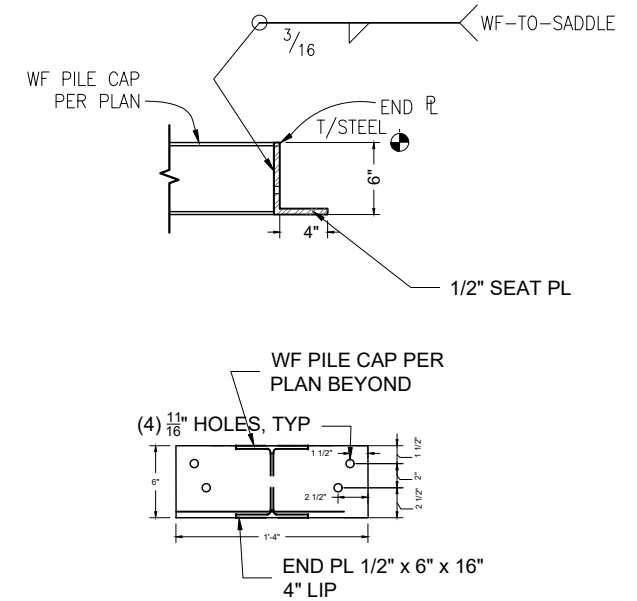
DETAILS - TRACK



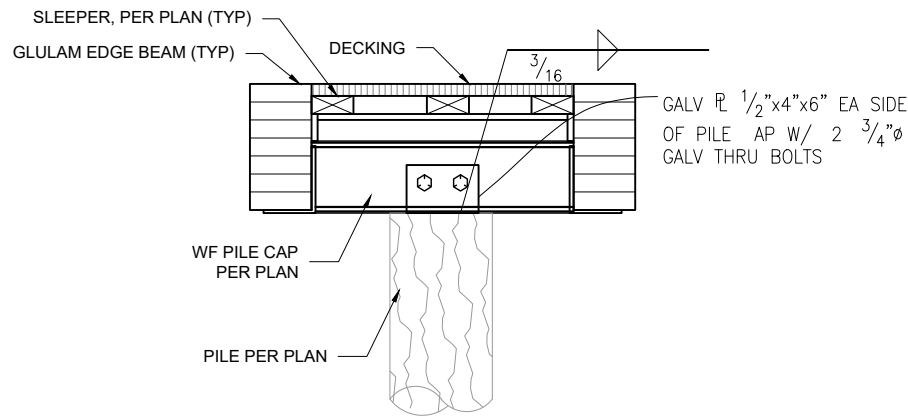
S1 BRACE PILES - TYP
SCALE: 3/4" - 1"



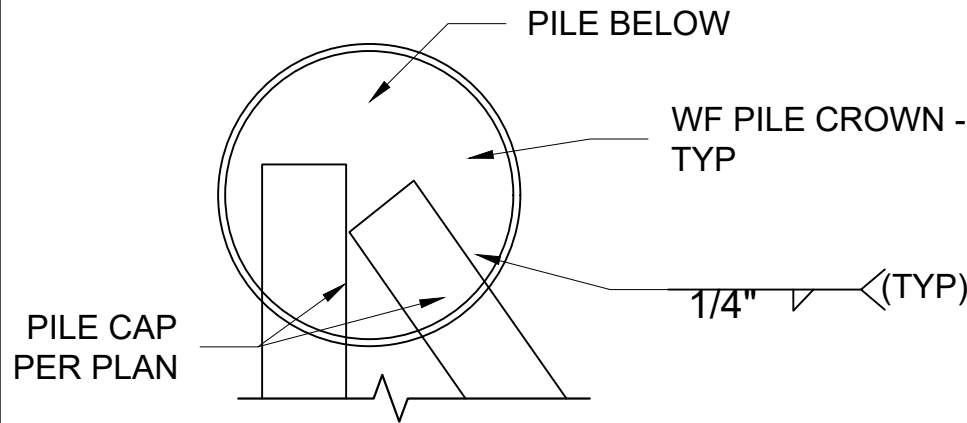
S2 ANGLE TO PLATE - TYP
SCALE: 1" - 1"



S3 BEAM SADDLE BRACKET
SCALE: 3/4" - 1"



S4 DOCK SECTION AT SINGLE WOOD PILE
SCALE: 3/4" - 1"



S5 DOUBLE I-BEAM CAP TO WOOD PILE
SCALE: 1-1/2" - 1"

S6 DETAIL NOT IN USE



Seaborn Pile Driving
1080 W Ewing St
Seattle, WA 98119

Office: 206-236-1700 ext. 3
www.seabornpiledriving.com

Scope of Work: We propose to repair (11) existing piles, repair (1) existing brace pile, repair the existing dock, and install a platform lift.

County: King County
Location: Lake Washington

Applicant: Wellmon Residence
6333 77TH AVE SE
MERCER ISLAND, WA 98040

Datum: CORPS OF ENGINEERS 1919
SE Quarter Of Section 24, Township 24, Range 04
Adjacent Owners:
DEMOPULOS PETER A+DIANE K
6333 77TH AVE SE 98040
SIRIANNI STEPHEN
6333 77TH AVE SE 98040

SHEET
12.0

Appendix B: Site Photographs



Photo 1 - Existing dock looking waterward.



Photo 2 - Existing dock looking landward.



Photo 3 - Existing shoreline north of dock.



Photo 4 - Existing shoreline looking south.



Photo 5 - Existing conditions north of site.



Photo 6 - Existing shoreline south of site.



COMMUNITY PLANNING & DEVELOPMENT

206.275.7605
www.mercerisland.gov/cpd

1/18/2024

Seaborn Pile Driving
Attn: Zion Napier
1080 W Ewing Pl #300
Seattle, WA 98119
Via: Email

RE: **SHL23-054; SEP23-017** Letter of Completeness; 6333 77th Ave SE, Mercer Island, WA 98040

The City of Mercer Island received the above referenced application for a Shoreline Substantial Development and SEPA Review permit for the property located at 6333 7th Ave SE, Mercer Island, WA 98040 on 11/03/2023. The City has assigned file number SHL23-054; SEP23-017 to the Shoreline Substantial Development and SEPA Review application. Following review of the application, City staff has determined that the application is complete and has established a vesting date of 1/18/2024.

The application is scheduled for mailing and posting on 1/29/2024 as required by MICC 19.15.030.

Formal review of the application will now begin in compliance with Mercer Island City Code, Chapter 19. As review progresses, additional documentation will most likely be requested.

Pursuant to Mercer Island City Code 19.15.110(B), if the applicant fails to provide the required information within 60 days from the date of any request for information, the application shall lapse, and become null and void.

Please do not hesitate to contact me at 206-275-7764 or via e-mail at grace.manahan@mercerisland.gov if you have any questions.

Sincerely,

Grace Manahan, Assistant Planner
City of Mercer Island Community Planning and Development

COMMUNITY PLANNING & DEVELOPMENT

9611 SE 36TH STREET | MERCER ISLAND, WA 98040
206.275.7605 | www.mercerisland.gov



PUBLIC NOTICE OF APPLICATION

NOTICE IS HEREBY GIVEN for the application described below:

File No.: SHL23-054

Permit Type: Type III

Description of Request: A request for a Shoreline Substantial Development Permit to repair 11 existing piles, repair 1 existing brace pile, repair the existing dock, and install 1 platform lift.

Applicant/Owner: Zion Napier (Seaborn Pile Driving) / Lindsey Wellmon

Location of Property: 6333 77th Ave SE, Mercer Island WA 98040
King County Assessor tax parcel number: 409710-0010

SEPA Compliance:

Following review of the submitted State Environmental Policy Act (SEPA) checklist, an initial evaluation of the proposed project for probably significant adverse environmental impacts has been conducted. The City expects to issue a SEPA Determination of Non-Significance (DNS) for this project. The optional DNS process, as specified in Washington Administrative Code (WAC) 197-11-355, is being used. This may be your only opportunity to comment on the environmental impacts of the proposal. The proposal may include mitigation measures under applicable codes, and the project review process may incorporate or require mitigation measures regardless of whether an Environmental Impact Statement (EIS) is prepared. A copy of the subsequent threshold determination for this specific project may be obtained upon request.

Project Documents: <https://mieplan.mercergov.org/public/SHL23-054%20&%20SEP23-017/>

Written Comments: This may be the only opportunity to comment on this proposal. Written comments on this proposal may be submitted to the City of Mercer Island either by email, in person, or by mail to the City of Mercer Island, 9611 SE 36th Street, Mercer Island, WA 98040-3732. Anyone may comment on the application, receive notice, and request a copy of the decision once made. Only those persons who submit written comments or participate at the public hearing (if a hearing is required) will be parties of record; and only parties of record will have the right to appeal.

Public Hearing and Public Meeting: Pursuant to [MICC 19.15.030](#) Tables A and B, a public hearing is not required for Type I-III permits.

Applicable Development Regulations Applications for Shoreline Substantial Development Permits are required to be processed as Type III land use reviews pursuant to Mercer Island City Code (MICC) 19.15.030. Processing requirements for Type III land use reviews are further detailed in MICC 19.15.030. The city's subdivision requirements are contained in [Chapter 19.08 MICC](#).

Other Associated Permits: Permit No(s): SEP23-017

Environmental Documents:

Copies of all studies and/or environmental documents are available through the above project documents link.

Application Process Information:

Date of Application:	November 3, 2023
Determined to Be Complete:	1/18/2024
Weekly Permit Bulletin Notice:	January 29, 2024
Date Mailed:	1/29/2024
Date Posted on Site:	1/29/2024
Comment Period Ends:	5:00PM on 2/28/2024

Project Contact:

Grace Manahan, Assistant Planner
grace.manahan@mercerisland.gov | (206) 275-7764



STATE OF WASHINGTON
DEPARTMENT OF ECOLOGY

Northwest Region Office
PO Box 330316, Shoreline, WA 98133-9716 • 206-594-0000

February 28, 2024

Grace Manahan, Assistant Planner
Community Planning & Development
City of Mercer Island
9611 SE 36th Street
Mercer Island, WA 98040

Re: Wellmon Pier
File# SHL23-054 & SEP23-017, Ecology SEPA# 202400409

Dear Grace Manahan:

Thank you for the opportunity to provide comments on the State Environmental Policy Act (SEPA) notice of application utilizing the optional determination of nonsignificance (ODNS/NOA) process for the Wellmon Pier Project. Based on review of the checklist associated with this project, the Department of Ecology (Ecology) has the following comments:

This project is located in an area that may have been contaminated with heavy metals due to the air emissions originating from the old Asarco smelter in north Tacoma (<https://apps.wa.gov/ecy/dirtalert/>). Soil contamination from the old Asarco poses risks to human health and the environment. Children are at especially high risk from direct exposure to contaminated soil. Construction workers, landscapers, gardeners, and others who work in the soils are also at risk. Washington State Department of Ecology (Ecology) recommends that the lead agency include soil sampling and analysis for arsenic and lead as conditions of approval in any upland areas of the project that involve soil movement. Sample and analyze the soil for arsenic and lead and send the results to Ecology for review to the Technical Assistance Coordinator at the Southwest Regional Office, Diana Ison via email at diana.ison@ecy.wa.gov or phone (360) 999-9593.

If the arsenic or lead concentrations are above the Model Toxic Control Act (MTCA) Method A cleanup levels, extra precautions shall be taken to avoid escaping dust, soil erosion, and water pollution during grading and site construction. Contaminated soils generated during site construction shall be managed and disposed of in accordance with state and local regulations, including the Solid Waste Handling Standards regulation (Chapter 173-350 WAC). For

Grace Manahan, Assistant Planner

February 28, 2024

Page 2

information about soil disposal contact the local health department in the jurisdiction where soils will be placed. The MTCA cleanup level for arsenic is 20 parts per million (ppm) and lead is 250 ppm. The link below provides more information on how the arsenic and lead cleanup-levels were set and why Ecology sees that they are protective of human health:

<https://apps.wa.gov/ecy/publications/SummaryPages/1109095.html>.

Thank you for considering these comments from Ecology. For assistance and information about Tacoma Smelter Plume and soils contamination, contact Diana Ison with the Toxics Cleanup Program at (360) 999-9593 or via email at diana.ison@ecy.wa.gov.

Sincerely,



Tracy Nishikawa

Administrative Assistant to the Region Director

Sent by email: Grace Manahan, grace.manahan@mercerisland.gov

ecc: Zion Napier, Seaborn Pile Driving
Diana Ison, Ecology



Seaborn Pile Driving
1080 W Ewing St. Bldg B
Seattle WA 98119
seabornpiledriving.com

Review Response

Date: 05/08/2024
Project Name: Wellmon
Response To: SHL23-054 SUB1

To Grace Manahan,

This letter is in response to the corrections for SHL23-054. Below are our responses to the questions/comments from April 24th 2024.

1. Planning:
 - a. All comments addressed, shoreline dimension waived per discussion with reviewer, and the requirement for soil sampling waived per discussion with ecology (see attached email).

Thank you for your time,

Zion Napier
Permit Manager
206-236-1700
permits@seabornpiledriving.com



Ison, Dia

to Tracy, m

Hello Zion,

Thank you for reaching out to Ecology for more clarification on our comment submitted for this project, located within the Tacoma Smelter Plume area.

Ecology's recommendation for soil sampling and analysis is only for upland areas of the project that involves soil movement. If there is no upland soil movement associated with this project, Ecology does not recommend the lead agency require soil sampling as a condition of approval.

Please let me know if you have any additional questions.

Best Regards,

Diana Ison

Tacoma Smelter Plume

Technical Assistance Coordinator

SWRO - Toxics Cleanup Program

Washington State Department of Ecology

360-999-9593 | diana.ison@ecy.wa.gov



COMMUNITY PLANNING & DEVELOPMENT

9611 SE 36TH STREET | MERCER ISLAND, WA 98040
PHONE: 206.275.7605 | www.mercerisland.gov/cpd



DETERMINATION OF NON-SIGNIFICANCE (DNS)

Application Nos.: SEP23-017

Description of proposal: Review under the State Environmental Policy Act (SEPA) for the installation of a new platform lift and to repair 11 existing piles, repair 1 existing brace pile and repair the existing dock.

Proponent: Zion Napier (Seaborn Pile Driving) / Lindsey Wellmon

Location of proposal: 6333 77th Ave SE, Mercer Island, WA 98040

Lead agency: City of Mercer Island

Project Documents: <https://mieplan.mercergov.org/public/SHL23-054%20&%20SEP23-017/>

Possible critical area and shoreline impacts are addressed by Mercer Island City Code Chapter 19.07. In addition, the proposed dock must comply with the City's Shoreline Master Program (MICC 19.07.110). Based on review of the proposal and applicable City code sections, the lead agency for this proposal has determined that the proposal does not have a probable significant adverse impact on the environment that is not addressed by the aforementioned code sections. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist. This information is available to the public on request.

<input type="checkbox"/>	There is no comment period for this DNS.
<input checked="" type="checkbox"/>	This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS.
<input type="checkbox"/>	This DNS is issued under WAC 197-11-340(2); the lead agency will not act on this proposal for 14 days from the date below. Comments must be submitted by NA <u>at 5:00 pm.</u>

Responsible Official: Grace Manahan, Code Compliance Planner
Grace.manahan@mercerisland.gov | (206) 275-7764

Date: July 15, 2024 **Signature:** /s/ Grace Manahan, Code Compliance Planner

APPEAL INFORMATION

This decision to issue a Determination of Non-significance (DNS) rather than to require an EIS may be appealed pursuant to Section 19.21 of the Mercer Island Unified Land Development Code, Environmental procedures.

<input checked="" type="checkbox"/>	Any party of record may appeal this determination to the City Clerk at 9611 SE 36 th Street, Mercer Island, WA 98040 no later than 5pm on July 29, 2024 by filing a timely and complete appeal application and paying the appeal fee. You should be prepared to make specific factual objections. Contact the City Clerk to read or ask about the procedures for SEPA appeals. To reverse, modify, or remand this decision, the appeal hearing body must find that there has been substantial error, the proceedings were materially affected by irregularities in procedure, the decision was unsupported by material and substantial evidence in view of the entire record, or the decision is in conflict with the city's applicable decision criteria.
<input type="checkbox"/>	There is no agency appeal.

<input type="checkbox"/>	Any person aggrieved by the issuance of this decision may seek review from the Shorelines Hearings Board by filing a petition for review within twenty-one days from the date of filing of the decision as defined in RCW 90.58.140(6) . Within seven days of the filing of any petition for review with the Board, the petitioner shall serve copies of the petition on the Washington State Department of Ecology, the Office of the Attorney General, and the City of Mercer Island. More information on this process can be found on the Shoreline Hearing Board's website: http://www.eho.wa.gov/ or by calling (360) 664-9160.
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